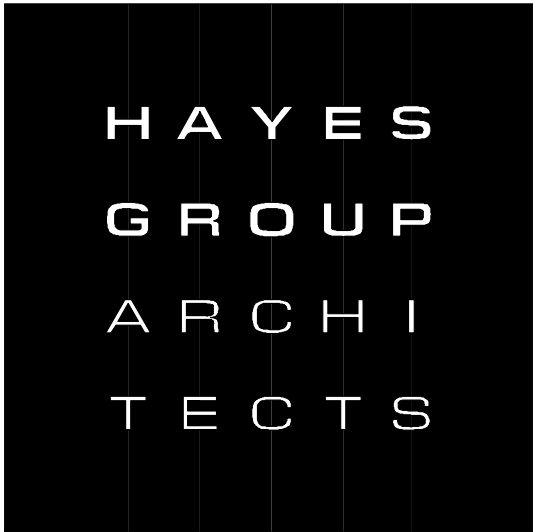


Date: 6/28/16
File name: 1223.00 A0.1 062716 v15.vwx

PRELIMINARY ARB REVIEW:

4146 EL CAMINO REAL
PALO ALTO, CA 94306

(PRESCREENING ZONE CHANGE)



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PROJECT DESCRIPTION:

4146 EL CAMINO REAL
PALO ALTO
CALIFORNIA, CA 94306

DESCRIPTION

PTC / PRELIM ARB SUBMISSION
03.31.14
ARB PRE-SCREENING APPLICATION
06.25.16

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PROJECT DIRECTORY

CLIENT	SU JUAN 6 ATHERTON OAK LANE ATHERTON, CA 94027 (650)327-2918 PH (650)521-2016 FAX SJUAN94027@YAHOO.COM
ARCHITECT	HAYES GROUP ARCHITECTS 2657 SPRING STREET REDWOOD CITY, CA 94063 (650) 365-0600 PH (650) 365-0670 FAX CONTACT: KEN HAYES x:15 KHAYES@THEHAYESGROUP.COM
SURVEYOR	BGT SURVEYING 270 PELICAN CT FOSTER CITY, CA 94404 650.212.1030 PH 650.212.1031 FAX CONTACT: BRYAN TAYLOR BTAYLOR@BGTSURVEYING.COM CONTACT: LILLIAN LEE X:103 LLEE@BGTSURVEYING.COM
ARBORIST	ARBOR RESOURCES P.O. BOX 25295 SAN MATEO, CA 94402 650.654.3351 PH CONTACT: DAVID BABBY ARBORRESOURCES@COMCAST.NET

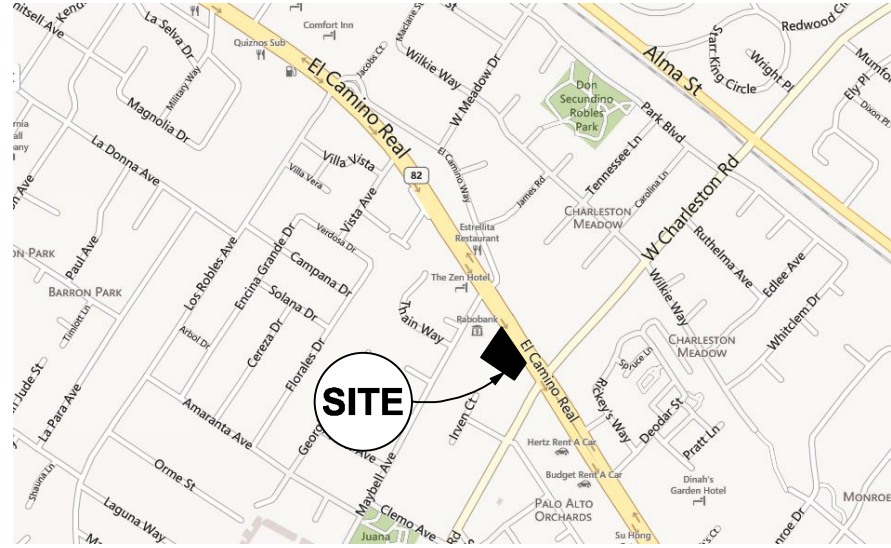
PROJECT INFORMATION

PROJECT DESCRIPTION:	(N) THREE STORY MULTI-FAMILY RESIDENTIAL CONDOMINIUMS WITH 1 LEVEL BELOW-GRADE PARKING. APPLICATION FOR ZONE CHANGE FROM RM-15 TO RM-30
APN:	137-24-034
ZONING:	RM-15 (PROPOSED RM-30)
TOTAL SITE AREA:	33,541 SF
PARKING:	SEE PARKING CALCULATION
OCCUPANCY:	R-2
BUILDING CODES:	2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA GREEN BUILDING CODE (CAL GREEN) 2013 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS) 2003 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS PALO ALTO ORDINANCE #5215 ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS & REGULATIONS
FIRE SPRINKLERS:	YES
TRASH/RECYCLE:	ON-SITE
GREEN BUILDING:	PROJECT TO COMPLY WITH CITY OF PALO ALTO'S GREEN BUILDING ORDINANCE.

GENERAL ZONING COMPLIANCE ANALYSIS WITH RM-30

	REQUIRED / ALLOWED	PROPOSED	COMPLIES
ADDRESS:	4146 EL CAMINO REAL		
ACCESSOR'S PARCEL NUMBER:	137-24-034		
TOTAL SITE AREA:	33,541 SF		
ZONING DISTRICT:	RM-15	RM-30	PENDING
HISTORIC CATEGORY:	NONE		
FLOOD ZONE:	NONE		
EL CAMINO REAL SETBACK:	20' FROM F.O.C.	20' FROM F.O.C.	YES
REAR YARD SETBACK	10'	10'	YES
SIDE YARD SETBACK	10'	10'	YES
MAXIMUM HEIGHT:	35'	34'-3"	YES
SITE COVERAGE	40% (+5% COVERED PATIO)	40% (+5% COVERED PATIO)	YES
NUMBER OF UNITS PERMITTED	0.76 (30) = 23 UNITS	21	YES
MAXIMUM F.A.R.:	0.61:0	0.61:0	YES
BMR	15%	3 UNITS	YES
MIN. SITE OPEN SPACE	(30%, 10,062 SF)	(38%, 12,631 SF)	YES

VICINITY MAP



DRAWING INDEX

ARCHITECTURAL	LANDSCAPE
A0.1 COVER SHEET	L-1.1 ILLUSTRATIVE LANDSCAPE PLAN
A0.2 STREETSCAPE ELEVATIONS	L-1.2 IMAGERY
A0.3 (E) SITE PLAN	L-2.1 LANDSCAPE NOTES & LEGENDS
A1.0 SITE PLAN OPTIONS	L-2.2 PLANTING NOTES & LEGENDS
A1.1 (N) UNDERGROUND PARKING	L-3.1 LANDSCAPE PLAN
A1.2 (N) SITE PLAN	L-4.1 LANDSCAPE DETAILS
A2.0 AREA SUMMARY AND DIAGRAMS	
A2.1 FLOOR PLANS MODULE A	
A2.2 FLOOR PLANS MODULE B	
A2.3 FLOOR PLANS MODULE C	
A3.0 STREETSCAPE ELEVATION DESIGN OPTION	
A3.1 PROPOSED ELEVATIONS MODULE A	
A3.2 PROPOSED ELEVATIONS MODULE B	
A3.3 PROPOSED ELEVATIONS MODULE C	
A3.4 PROPOSED SECTION	
A3.5 TWO-STORY AND THREE-STORY SIGHT LINE SECTIONS	
A4.1 3D STUDIES	
A4.2 3D STUDIES	

DRAWING CONTENT

COVER SHEET:
PROJECT DIRECTORY,
PROJECT INFORMATION,
VICINITY MAP,
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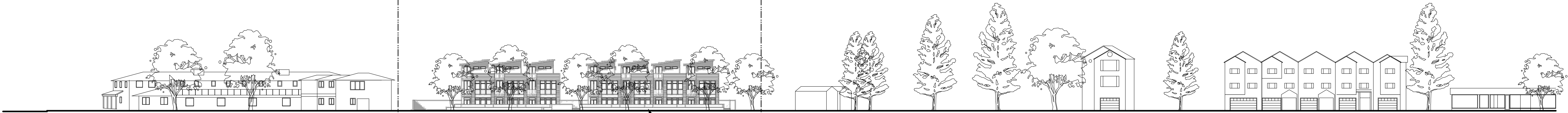
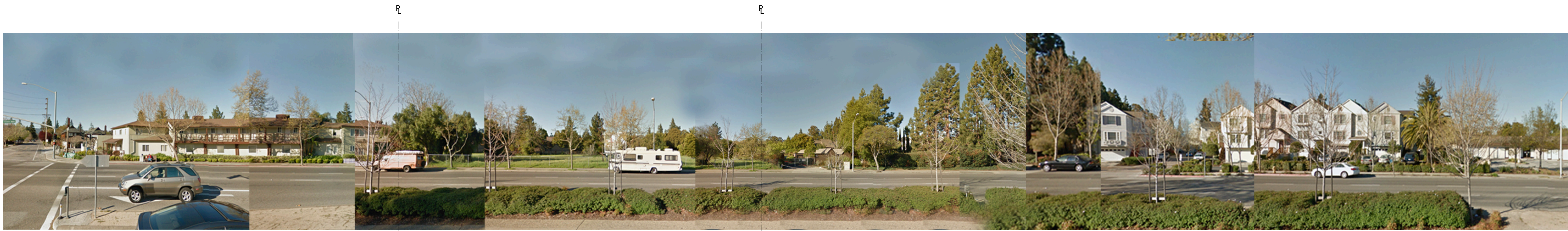
(E) FROM THAIN WAY LOOKING EAST 4
SCALE: N.T.S.



(E) SITE PHOTO FROM EL CAMINO REAL LOOKING NORTH 3
SCALE: N.T.S.



(E) SITE PHOTO FROM EL CAMINO REAL LOOKING SOUTH 2
SCALE: N.T.S.



EL CAMINO REAL STREETSCAPE ELEVATION 1
SCALE 1/32" = 1'-0"

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PALO ALTO
CALIFORNIA, CA 94306

DESCRIPTION

PTC / PRELIM ARB SUBMISSION
03.31.14

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STREETSCAPE AND (E) SITE PHOTOS

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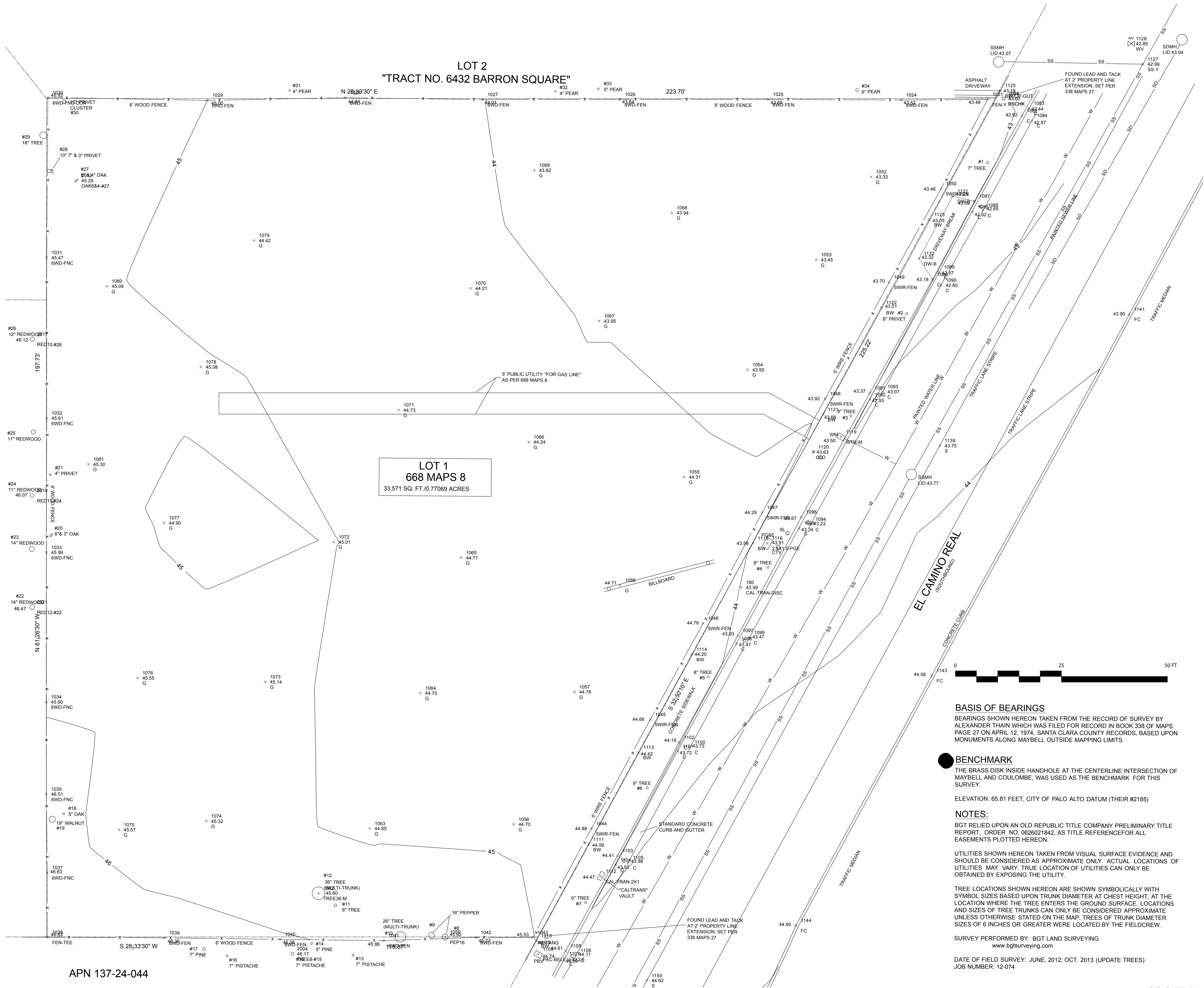
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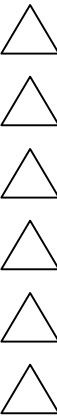
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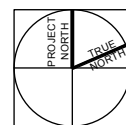
(E) SITE PLAN

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(E) SITE PLAN 1
SCALE 3/32" = 1'-0"

A0.3

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PLAN STUDIES

STAMP

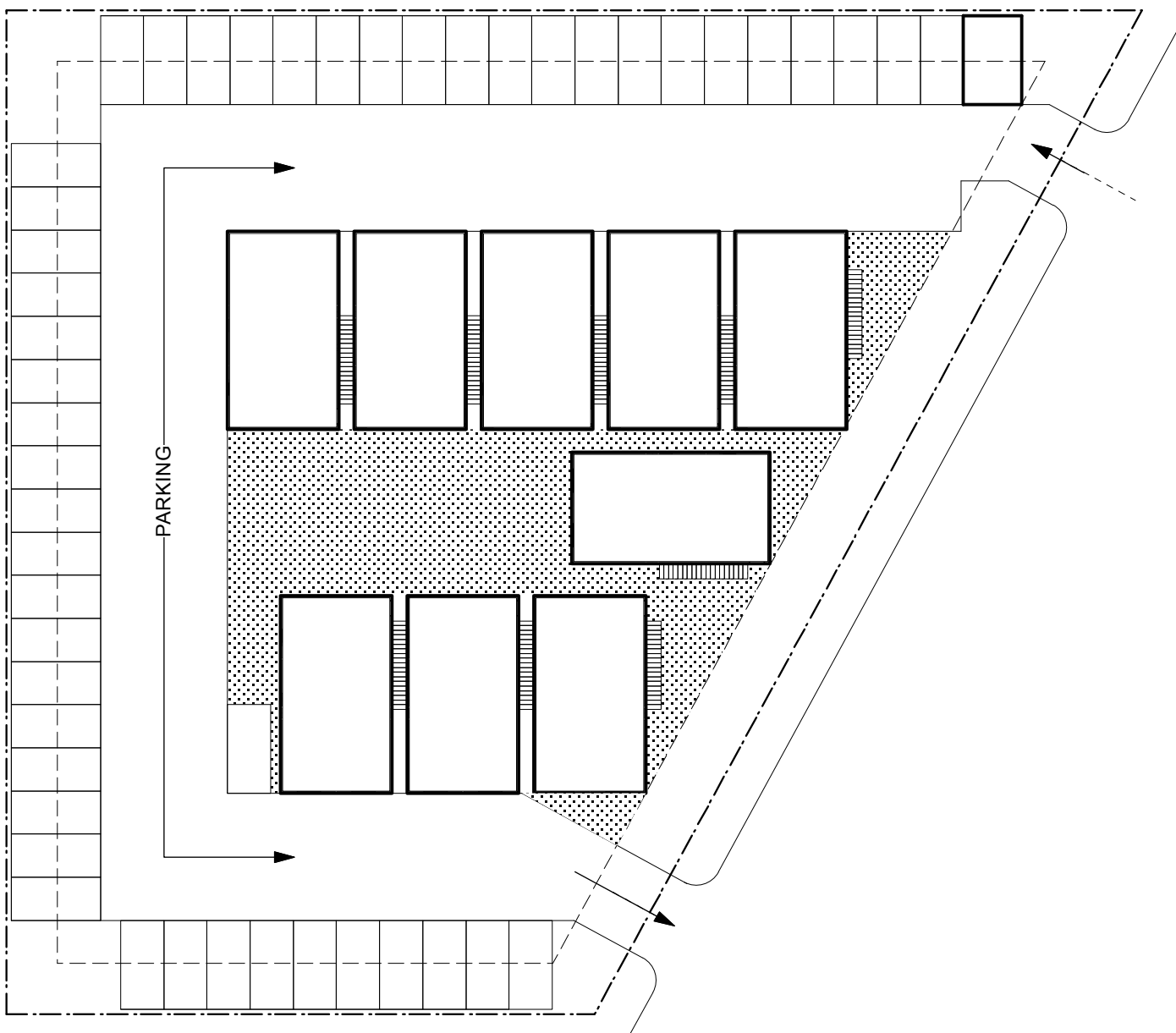
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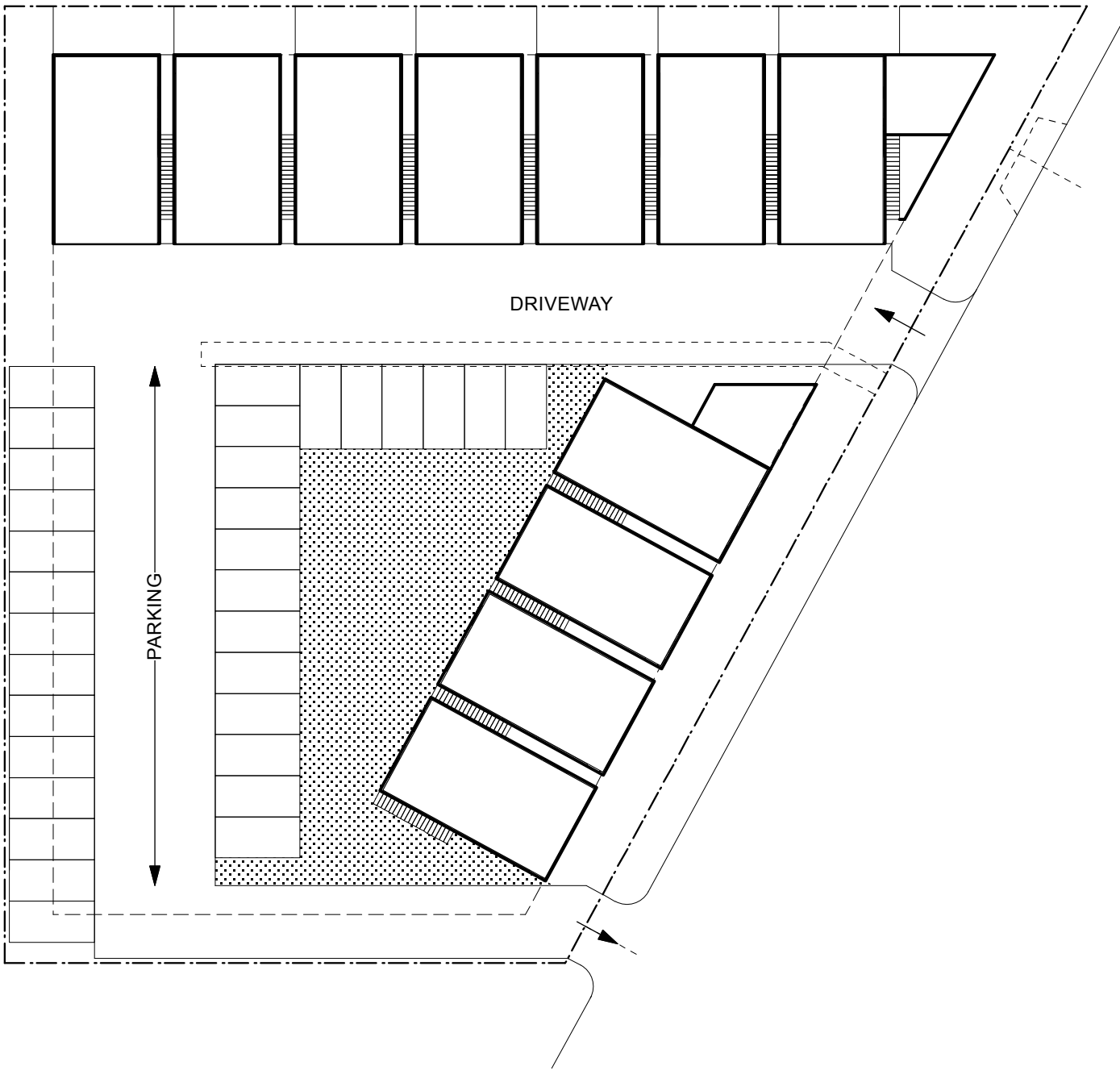
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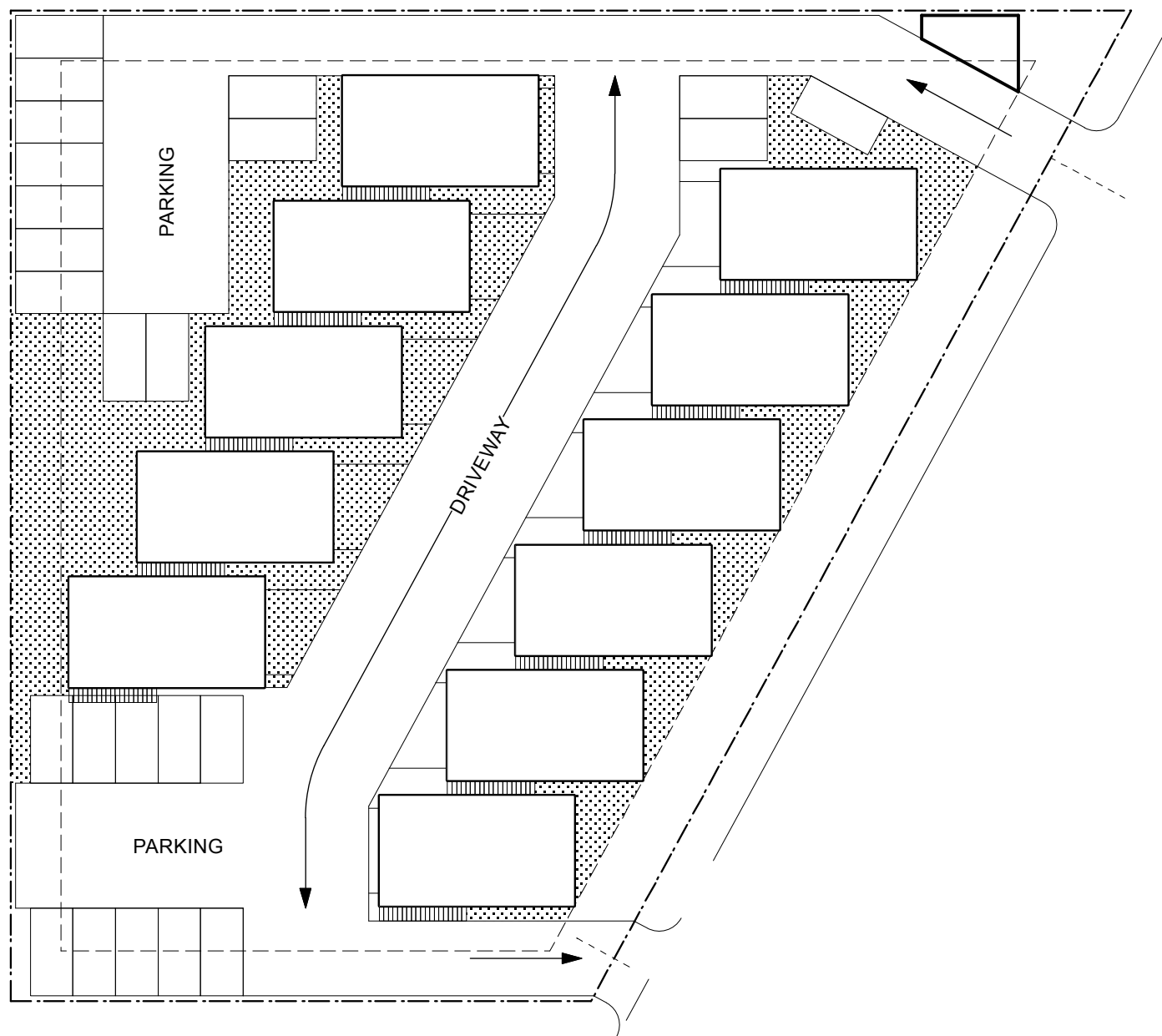
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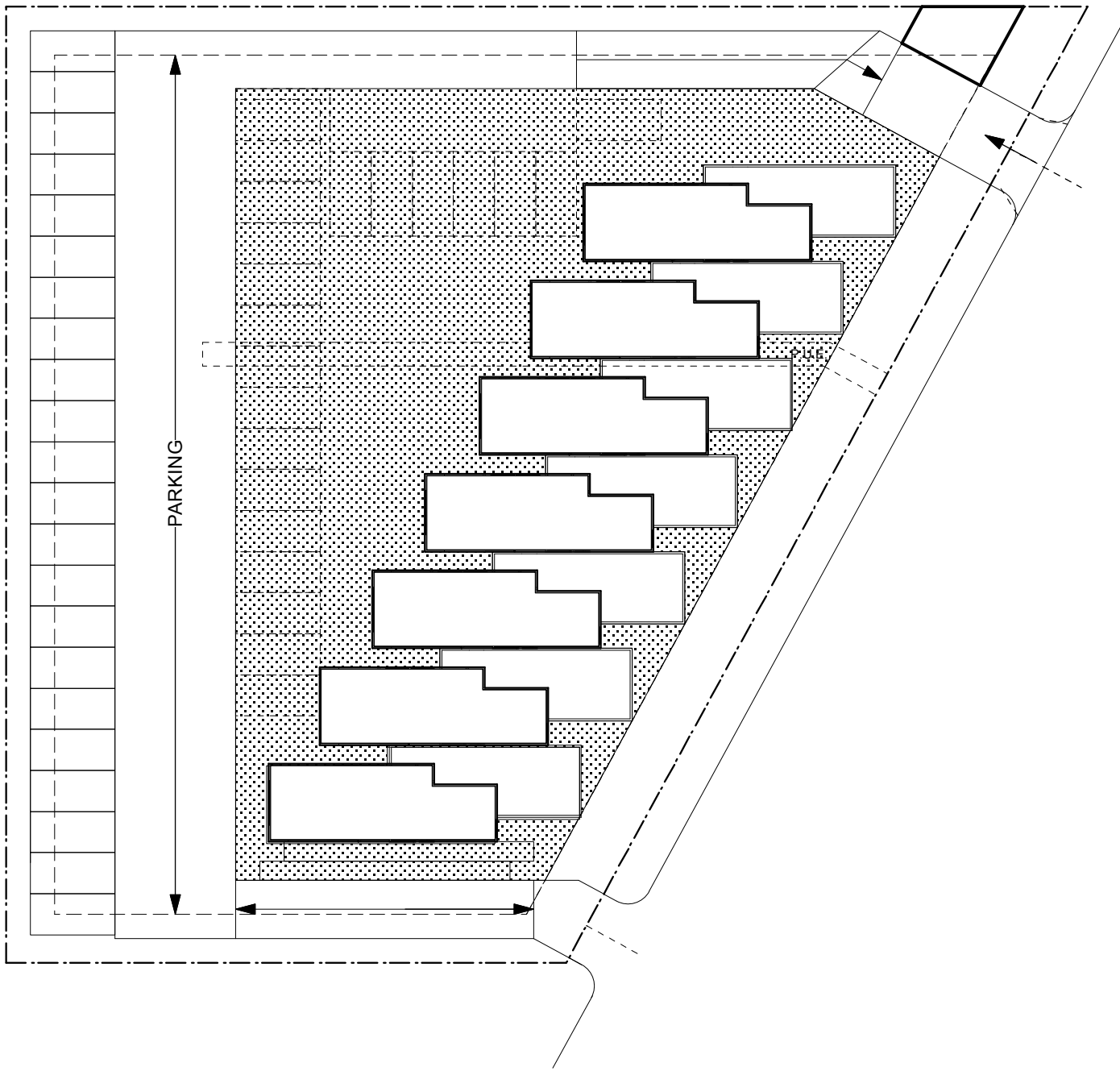
CONCEPTUAL SITE PLAN 4
SCALE 1/32" = 1'-0"



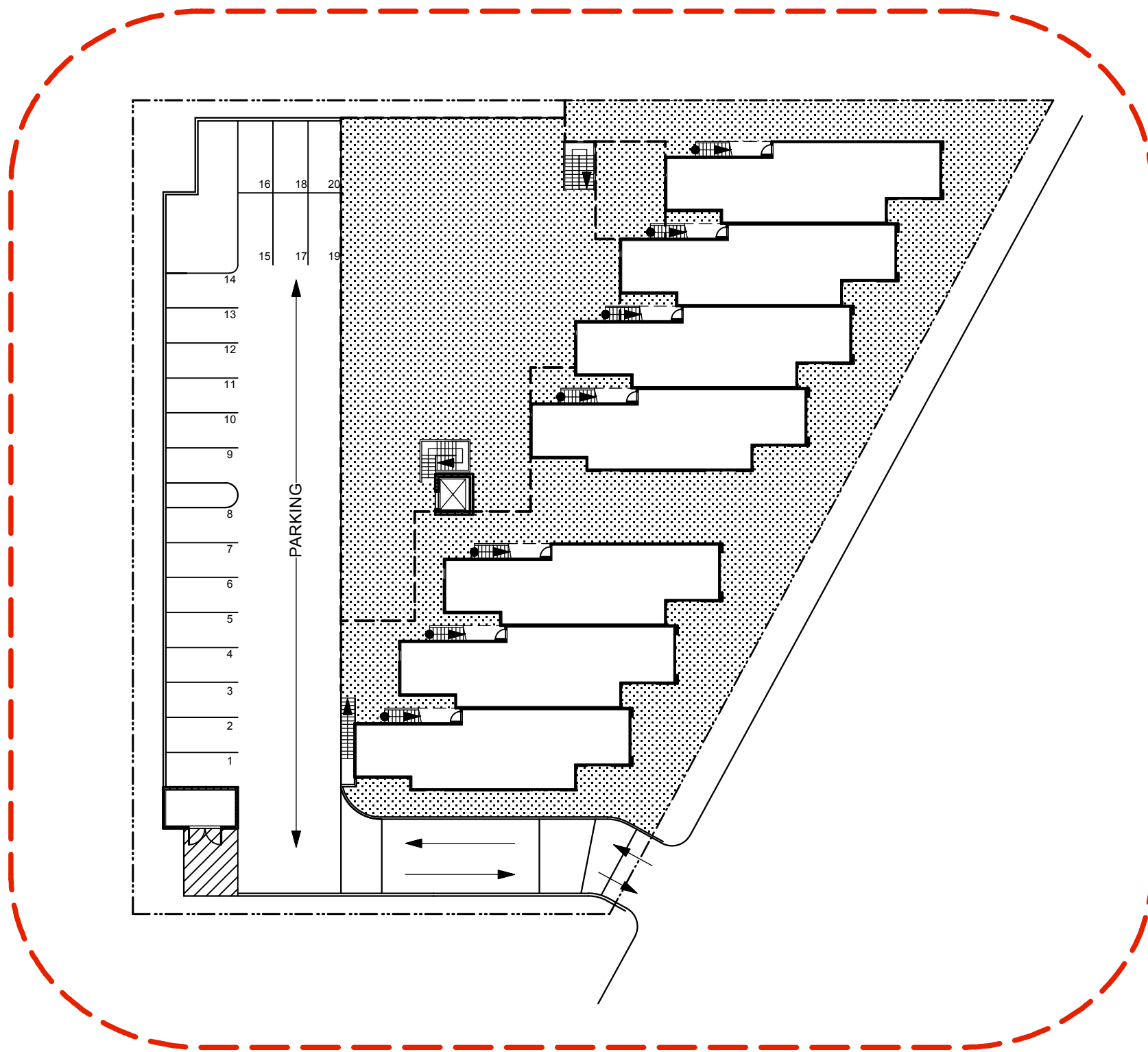
CONCEPTUAL SITE PLAN 2
SCALE 1/32" = 1'-0"



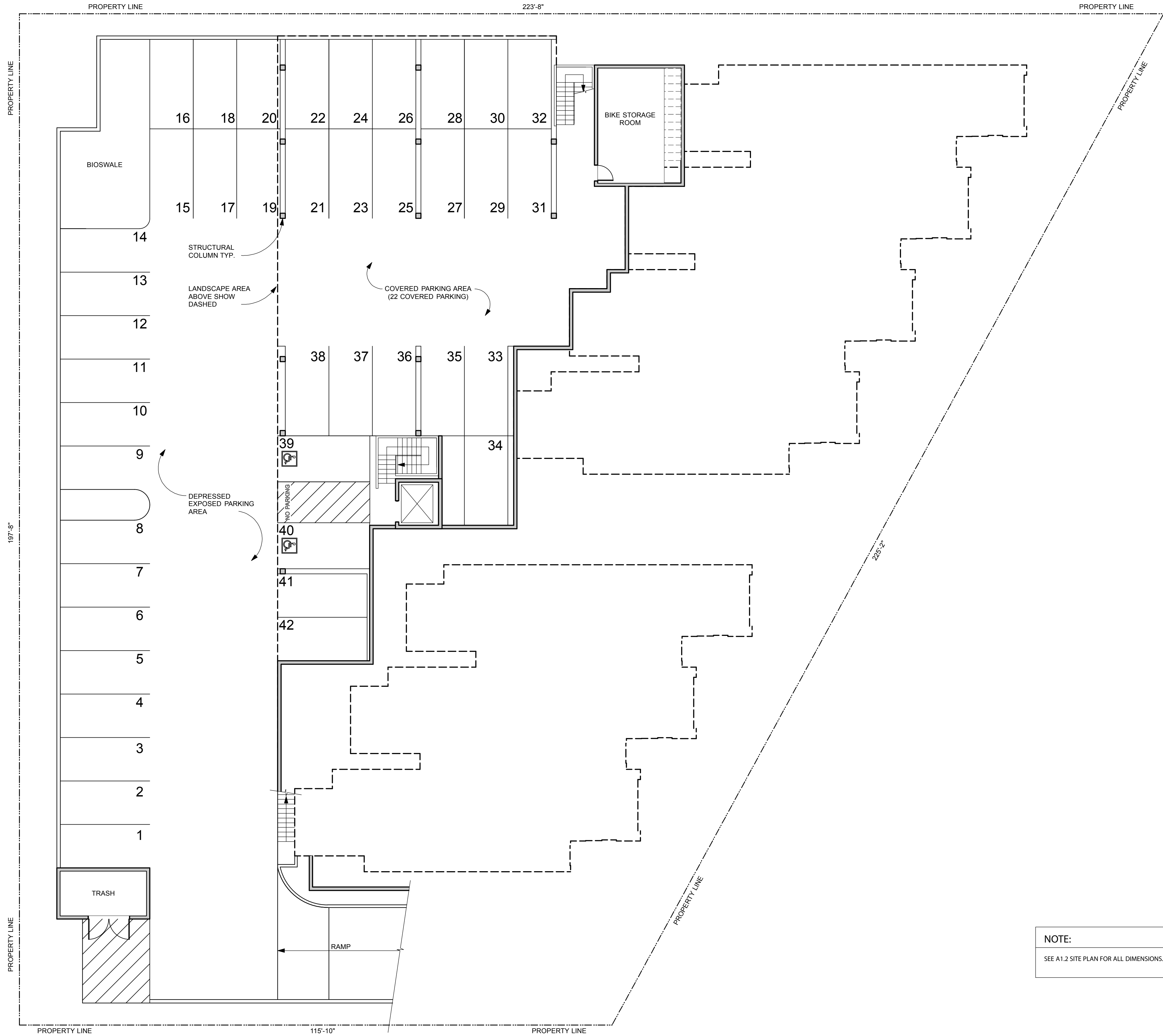
CONCEPTUAL SITE PLAN 5
SCALE 1/32" = 1'-0"



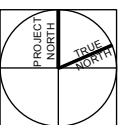
CONCEPTUAL SITE PLAN 3
SCALE 1/32" = 1'-0"



CONCEPTUAL SITE PLAN 1
SCALE 1/32" = 1'-0"



NOTE:
SEE A1.2 SITE PLAN FOR ALL DIMENSIONS.



(N) SITE PLAN 1
SCALE 3/32" = 1'-0"

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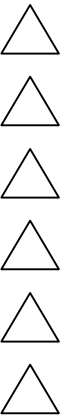
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**(N) UNDERGROUND
PARKING**

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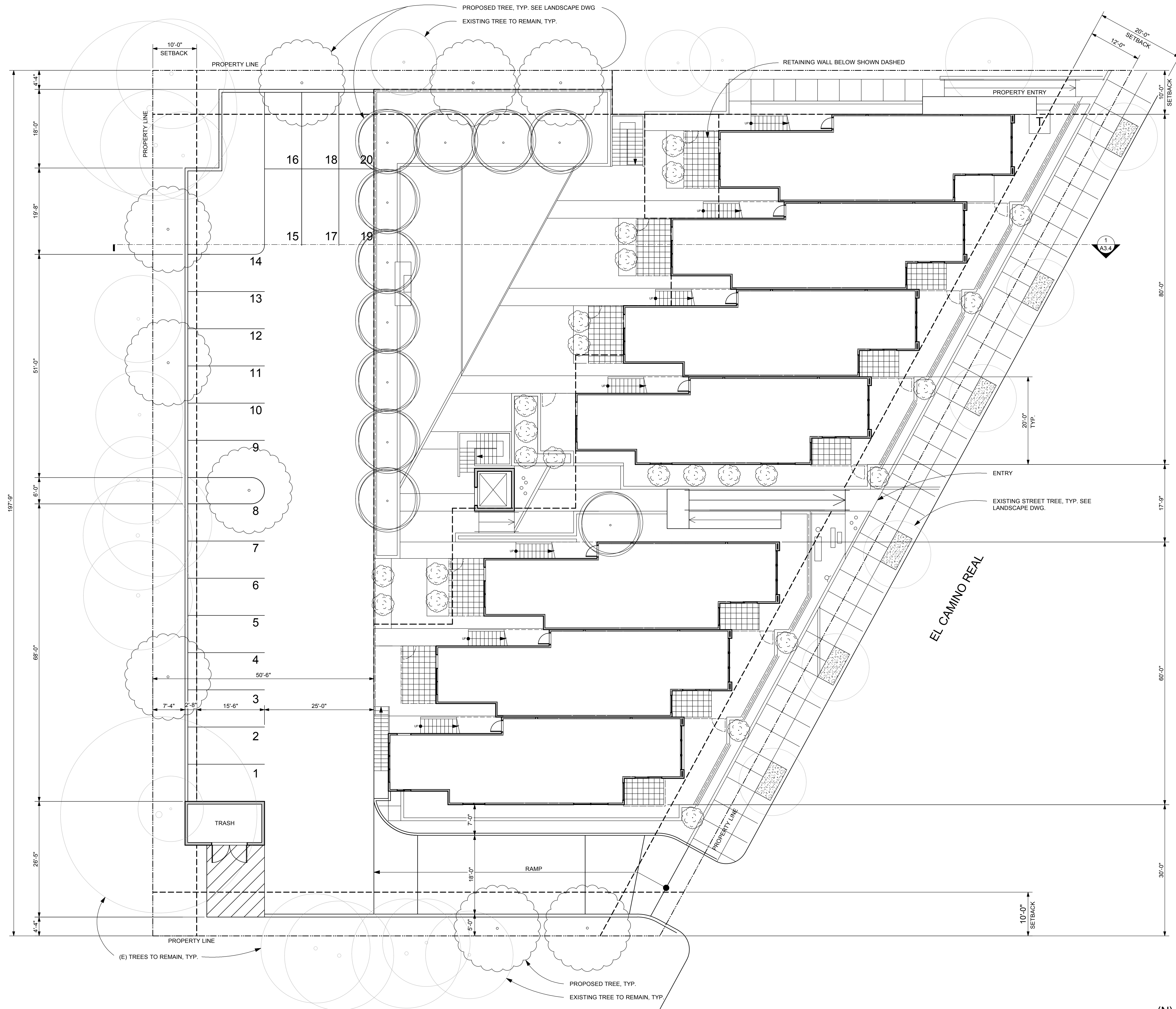
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(N) SITE PLAN 1
SCALE 3/32" = 1'-0"

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(N) SITE PLAN

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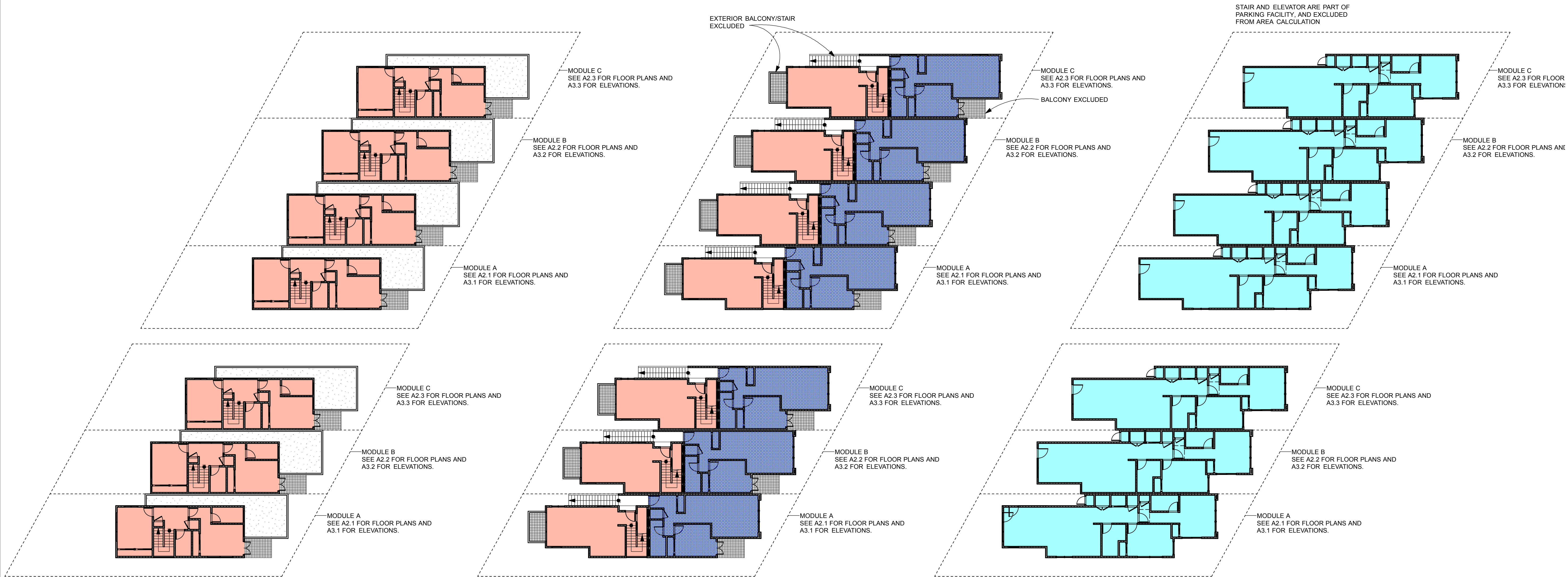
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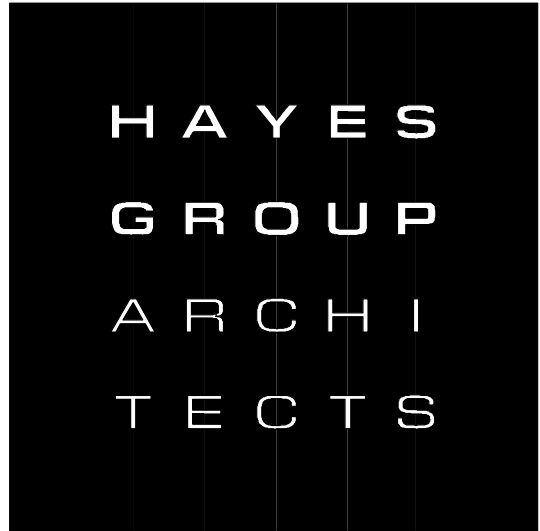
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AREA SUMMARY		
FIRST FLOOR:		
2 BEDROOM UNIT: 1,123 SF TYP.		7,861 SF TOTAL
SECOND FLOOR:		
1 BEDROOM UNIT: 618 SF TYP.		4,326 SF TOTAL
2 BEDROOM TOWNHOME: 476 SF TYP.		3,332 SF TOTAL
THIRD FLOOR:		
2 BEDROOM TOWNHOME: 655 SF TYP.		4,585 SF TOTAL
TOTAL BUILDING AREA: (20,104 SF < 20,124 SF (0.6:1 FAR), OK)		20,104 SF TOTAL

PARKING SUMMARY (PER PAMC 18.52.040 TABLE 1)		
REQUIRED PARKING:		
1.5 PARKING SPACES PER 1 BEDROOM:	1.5 * 7 UNITS = 10.5 SPACES	
2.0 PARKING SPACES PER 2 BEDROOM:	2 * 14 UNITS = 28 SPACES	
GUEST PARKING: 1+10% OF TOTAL # OF UNITS:	10% * 21+1 = 3.1 SPACES	
TOTAL PARKING REQUIRED:		41.6 SPACES
PROVIDED PARKING		42 SPACES (42 SPACES > 41.6 SPACES, OK)
BICYCLE PARKING		
REQUIRED:	1 LT/UNIT	1 LT * 21 UNITS = 21 LT
PROVIDED:	1 ST/10 UNITS	1 ST/10 * 21 UNITS = 2.1 ST 21 LT (21=21, OK) 3 ST (3>2.1, OK)



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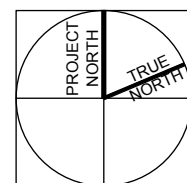
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AREA SUMMARY
& DIAGRAMS

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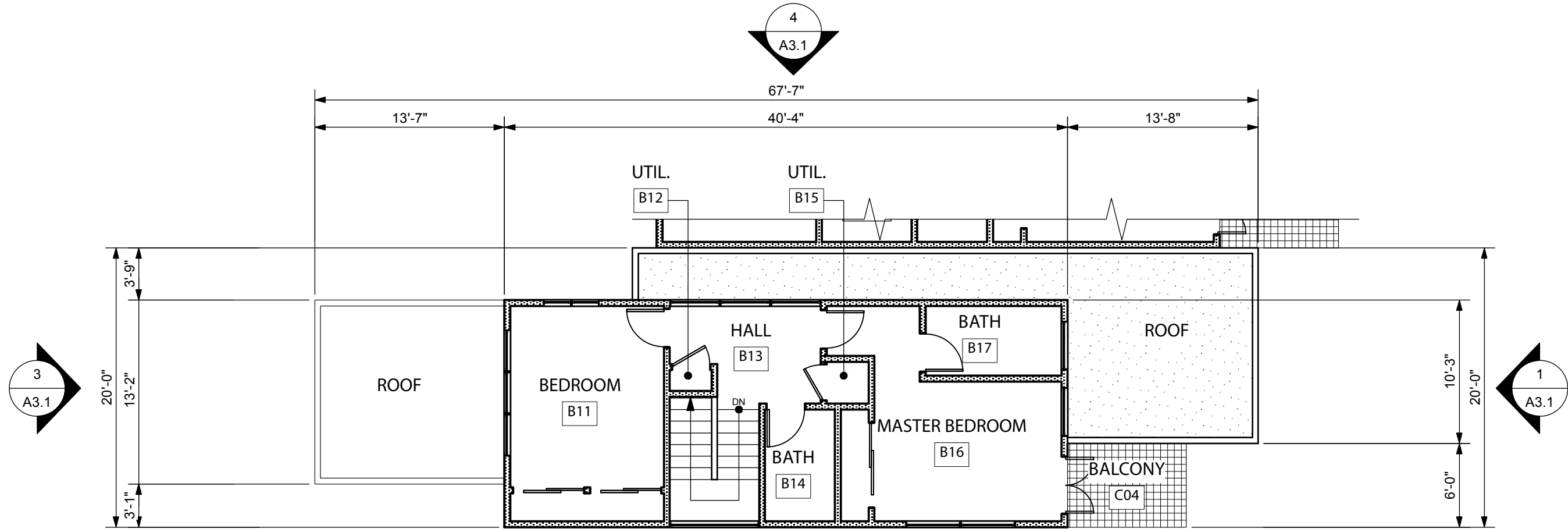


FLOOR PLAN - LEVEL 3 3
SCALE 1/16" = 1'-0"

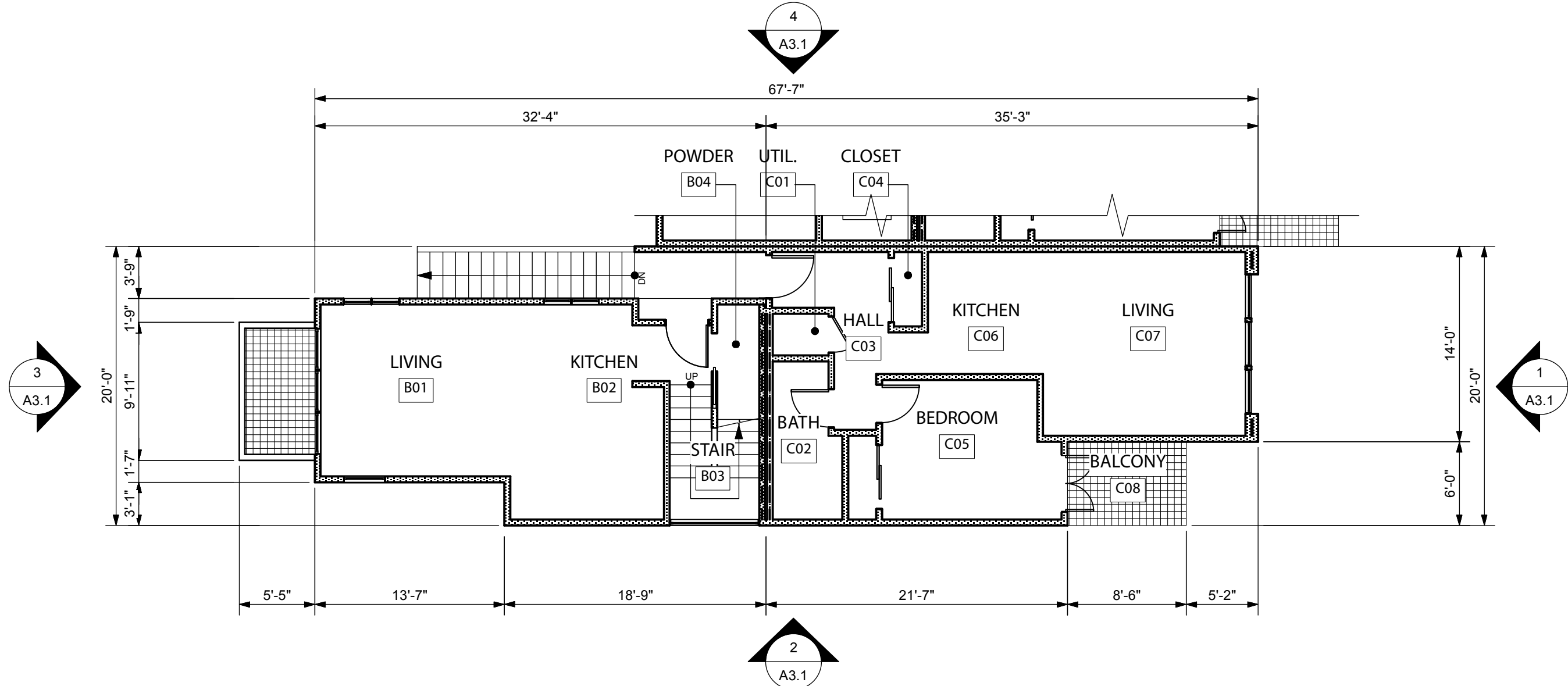
FLOOR PLAN - LEVEL 2 2
SCALE 1/16" = 1'-0"

FLOOR PLAN - LEVEL 1 1
SCALE 1/16" = 1'-0"

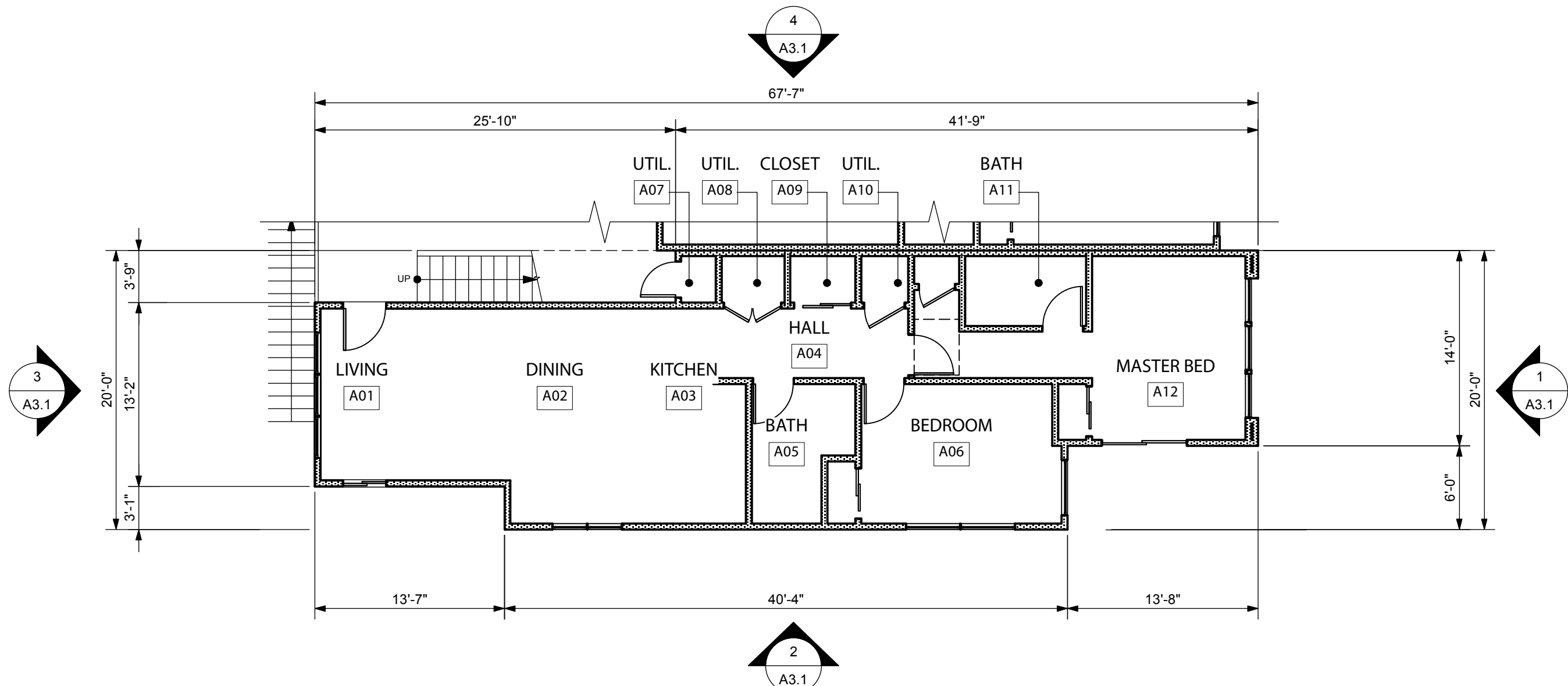
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MODULE A: FLOOR PLAN - LEVEL 3 6
SCALE 1/8" = 1'-0"

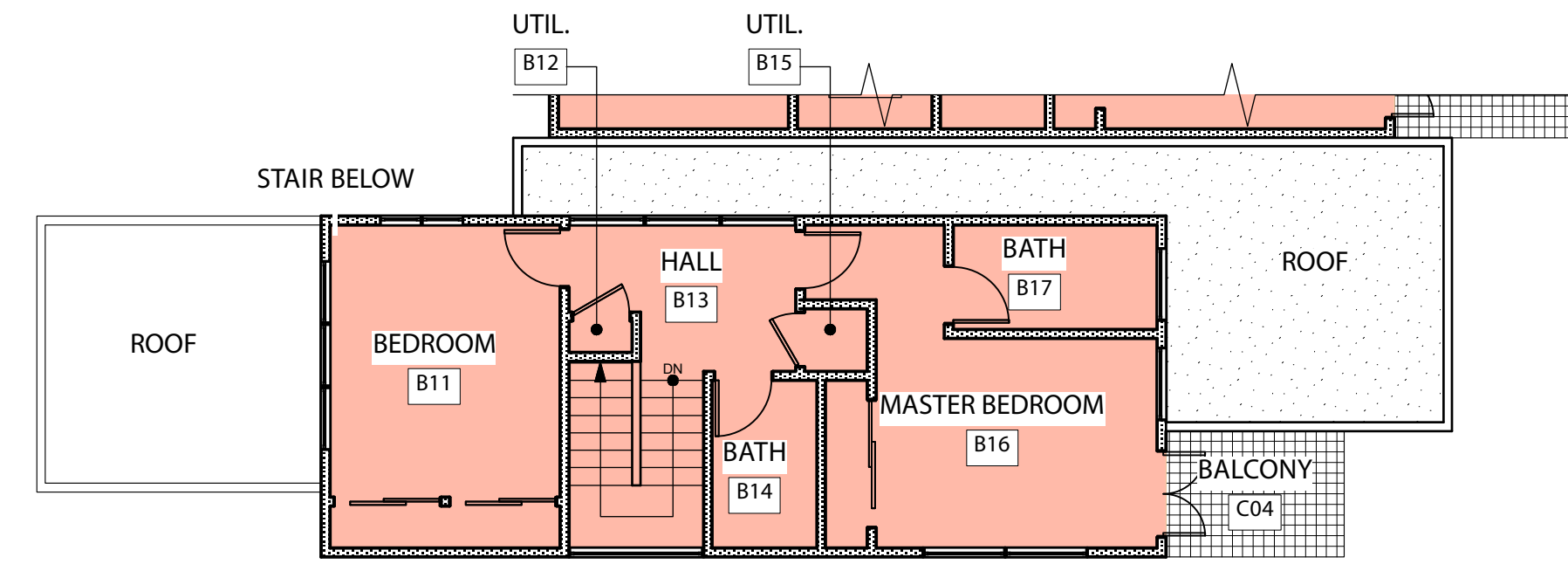


MODULE A: FLOOR PLAN - LEVEL 2 5
SCALE 1/8" = 1'-0"

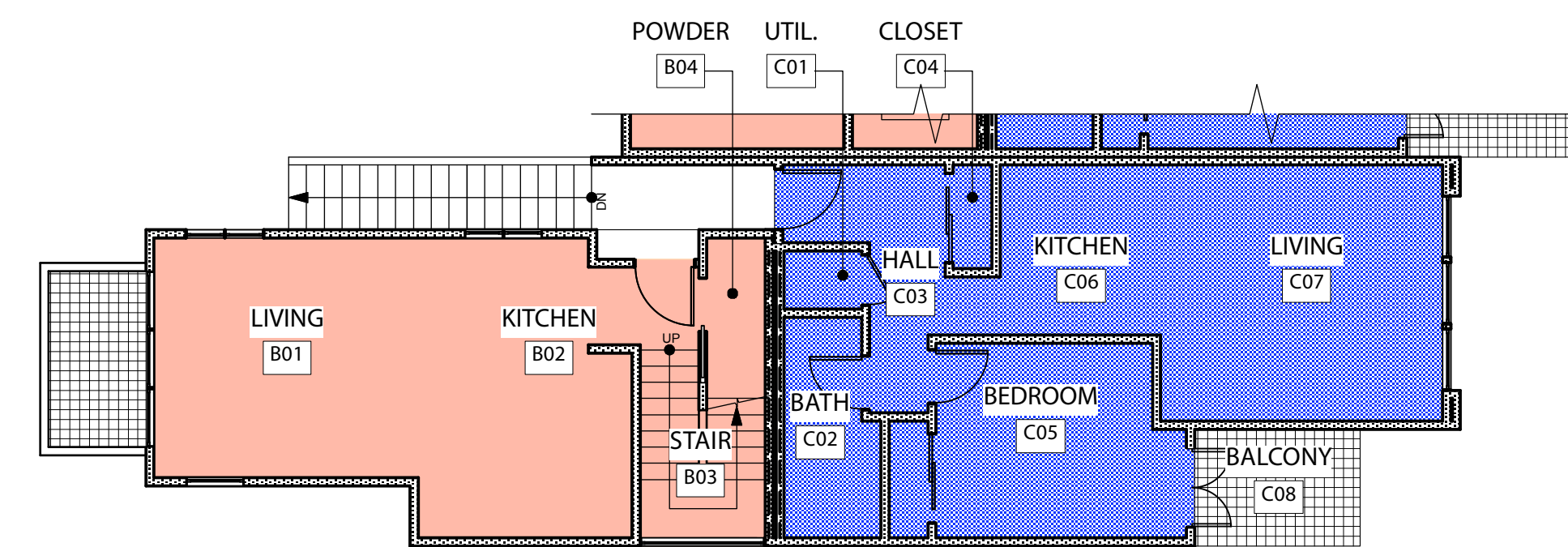


MODULE A: FLOOR PLAN - LEVEL 1 4
SCALE 1/8" = 1'-0"

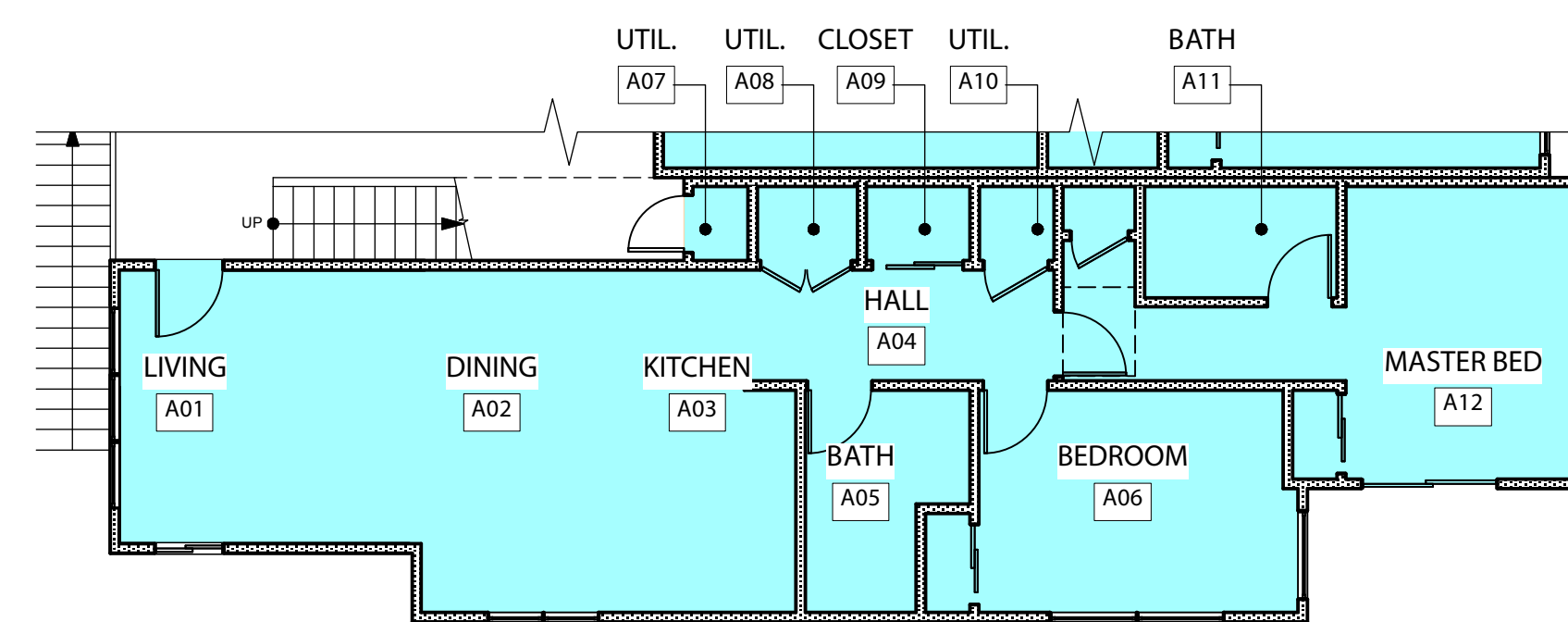
AREA SUMMARY	
FIRST FLOOR:	2 BEDROOM UNIT: 1,123 SF
SECOND FLOOR:	1 BEDROOM UNIT: 618 SF TYP.
SECOND / THIRD FLOOR:	2 BEDROOM UNIT: 476 + 655 = 1,131 SF
TOTAL BUILDING AREA: (20,104 SF < 20,124 SF (0.6:1 FAR), OK)	
20,104 SF TOTAL	



MODULE A: AREA CALCULATION - LEVEL 3 3
SCALE 1/8" = 1'-0"



MODULE A: AREA CALCULATION - LEVEL 2 2
SCALE 1/8" = 1'-0"



MODULE A: AREA CALCULATION - LEVEL 1 1
SCALE 1/8" = 1'-0"

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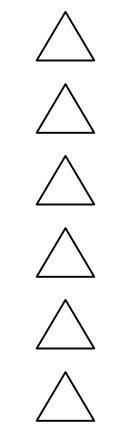
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FLOOR PLANS
MODULE A

STAMP

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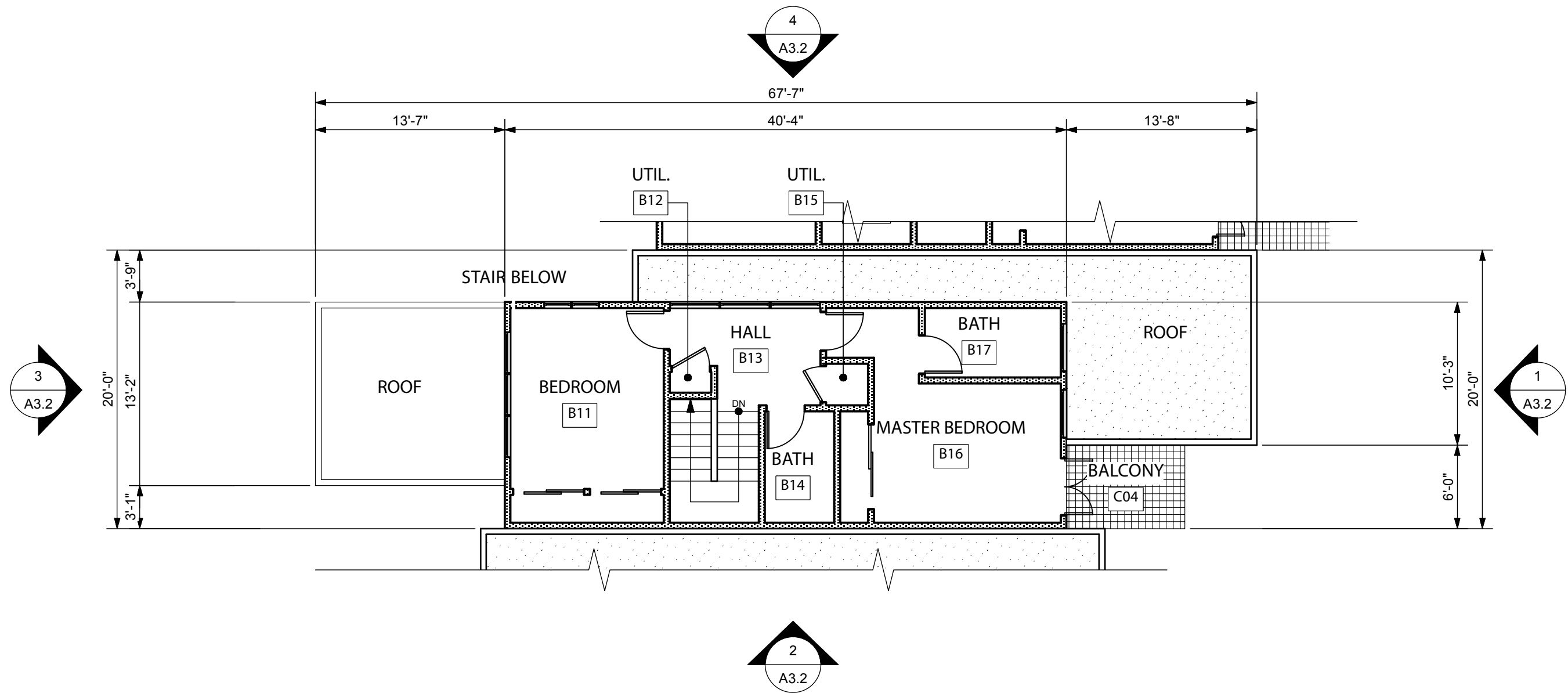
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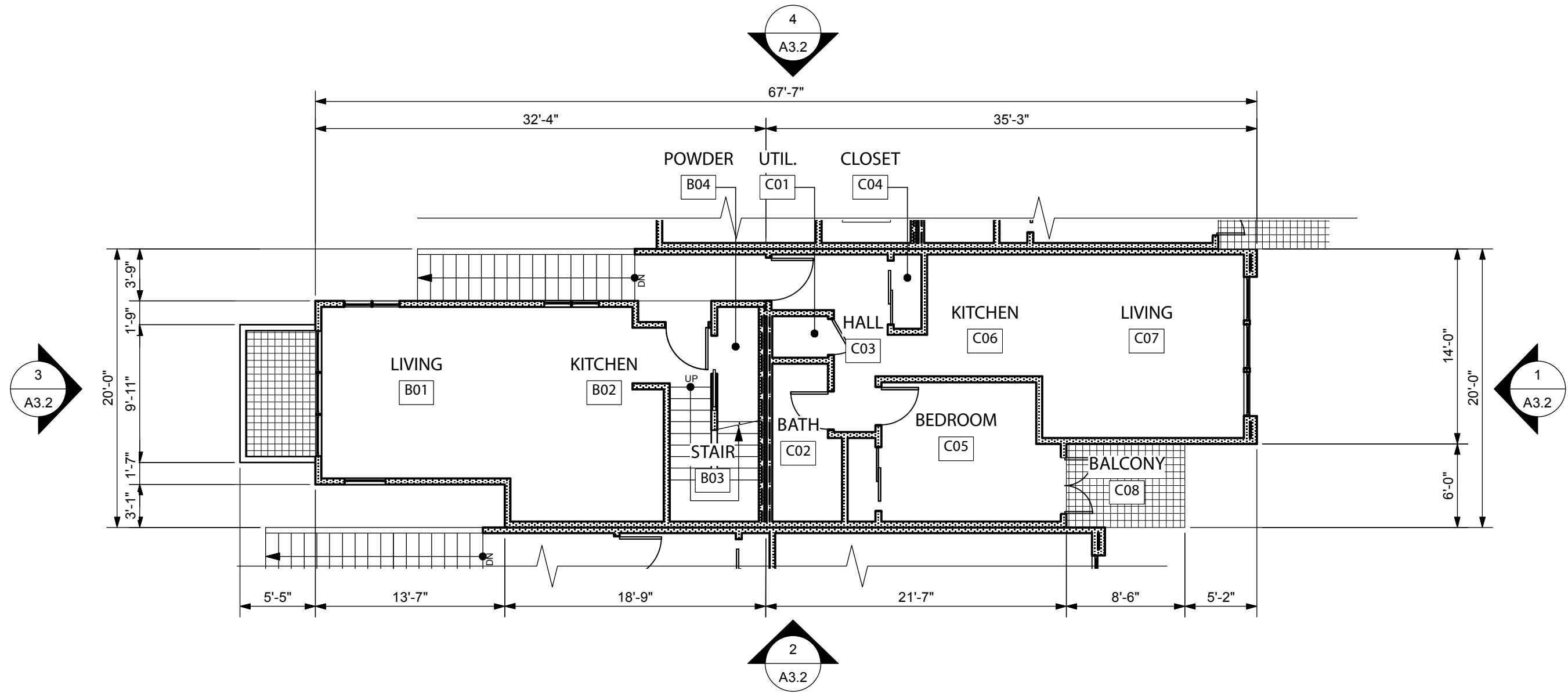
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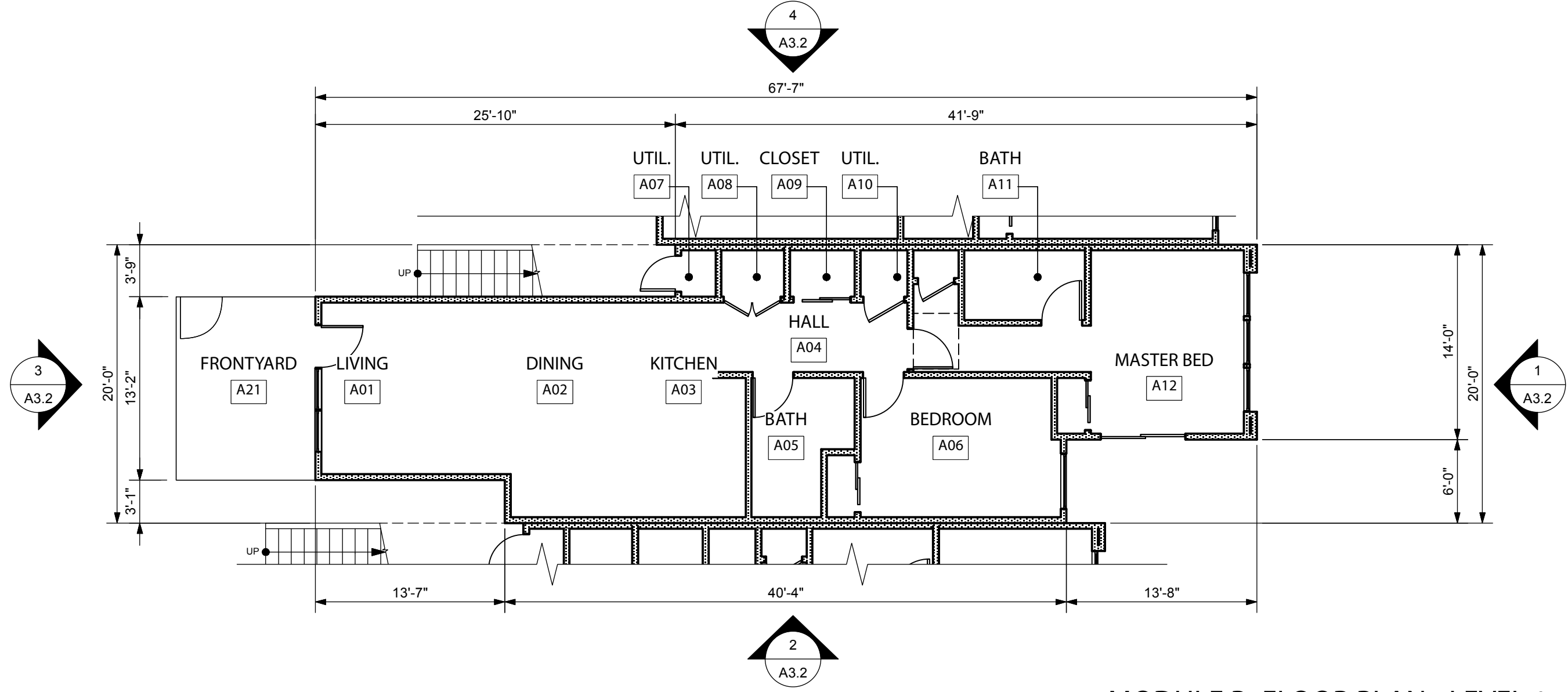
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MODULE B: FLOOR PLAN - LEVEL 3 6
SCALE 1/8" = 1'-0"

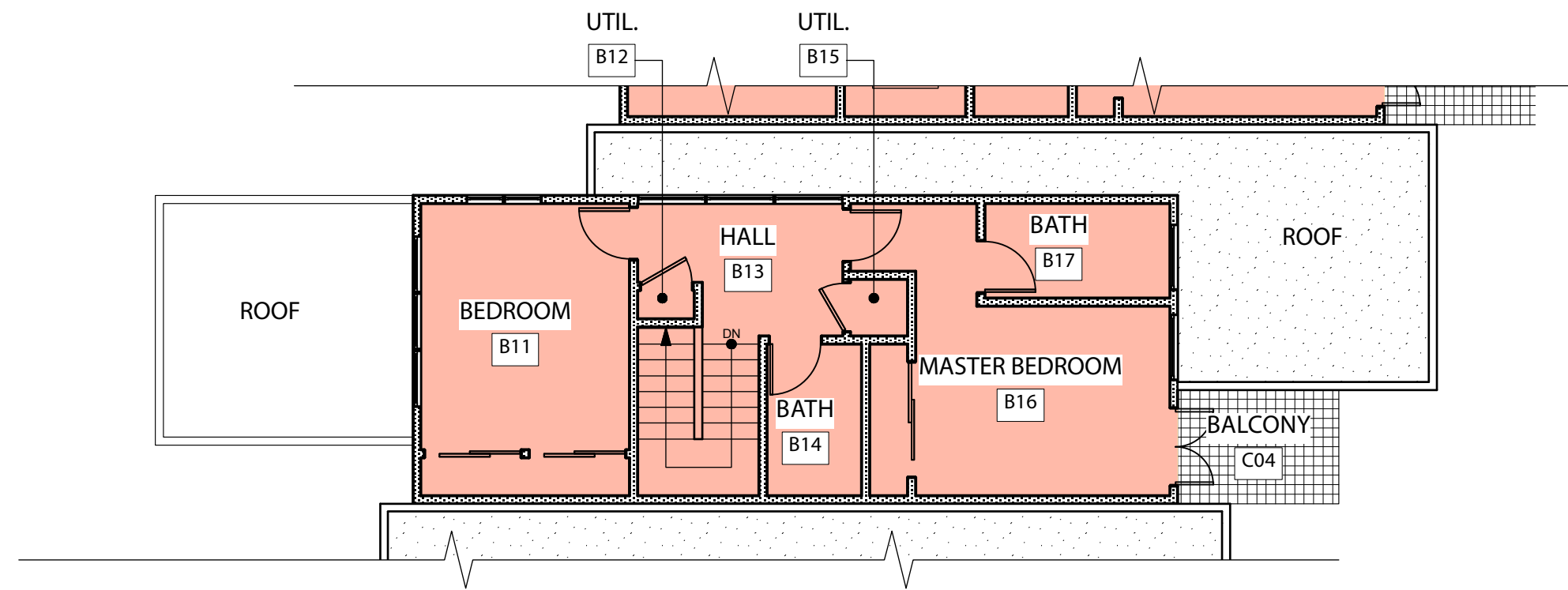


MODULE B: FLOOR PLAN - LEVEL 2 5
SCALE 1/8" = 1'-0"

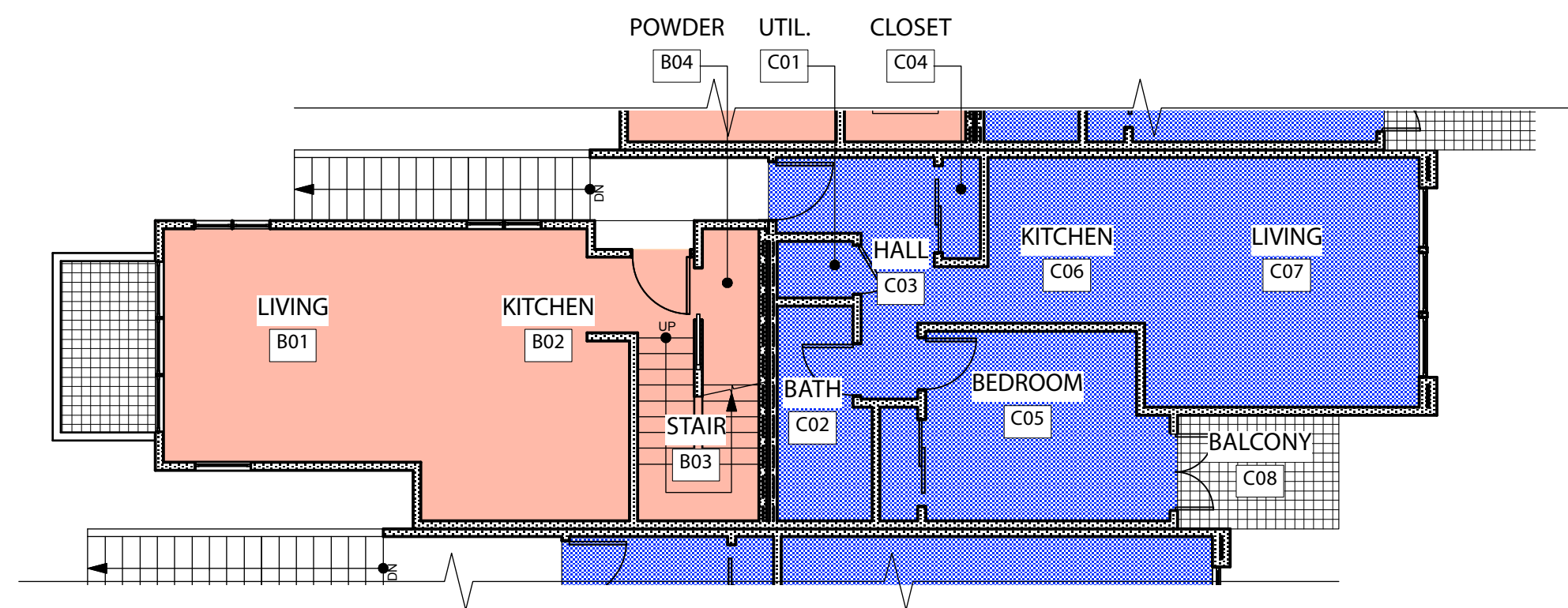


MODULE B: FLOOR PLAN - LEVEL 1 4
SCALE 1/8" = 1'-0"

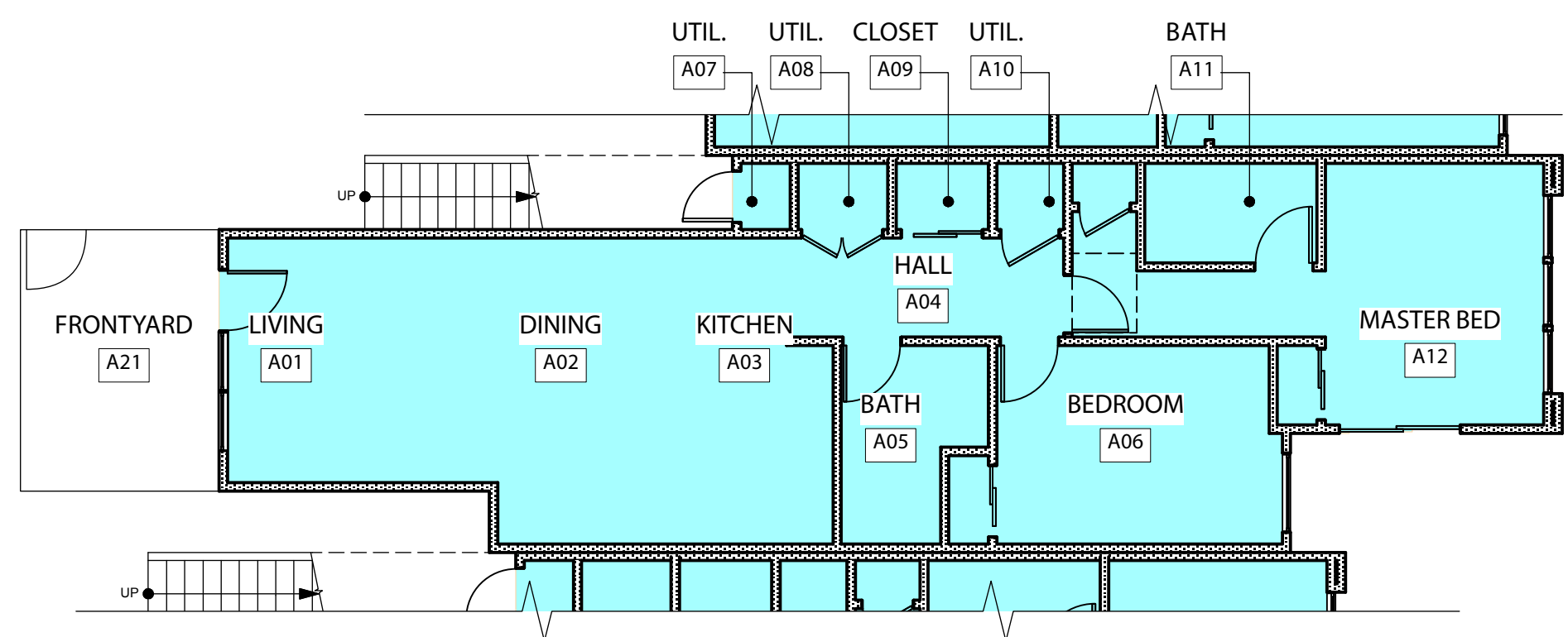
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SECOND / THIRD FLOOR:	2 BEDROOM UNIT: 476 + 655 = 1,131 SF
TOTAL BUILDING AREA: 20,104 SF TOTAL (20,104 SF < 20,124 SF (0.6:1 FAR), OK)	



MODULE B: AREA CALCULATION - LEVEL 3 3
SCALE 1/8" = 1'-0"



MODULE B: AREA CALCULATION - LEVEL 2 2
SCALE 1/8" = 1'-0"



MODULE B: AREA CALCULATION - LEVEL 1 1
SCALE 1/8" = 1'-0"

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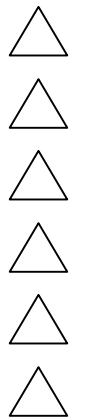
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FLOOR PLANS
MODULE B

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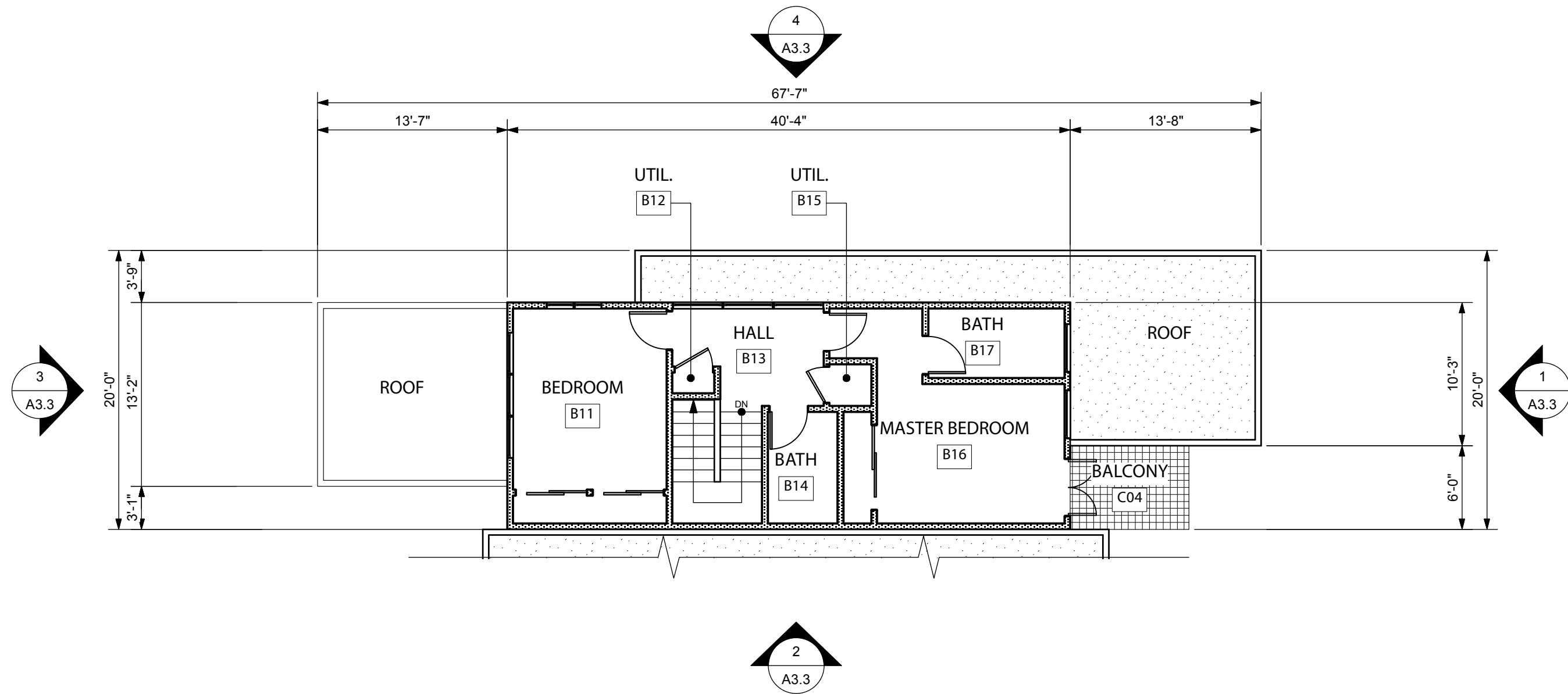
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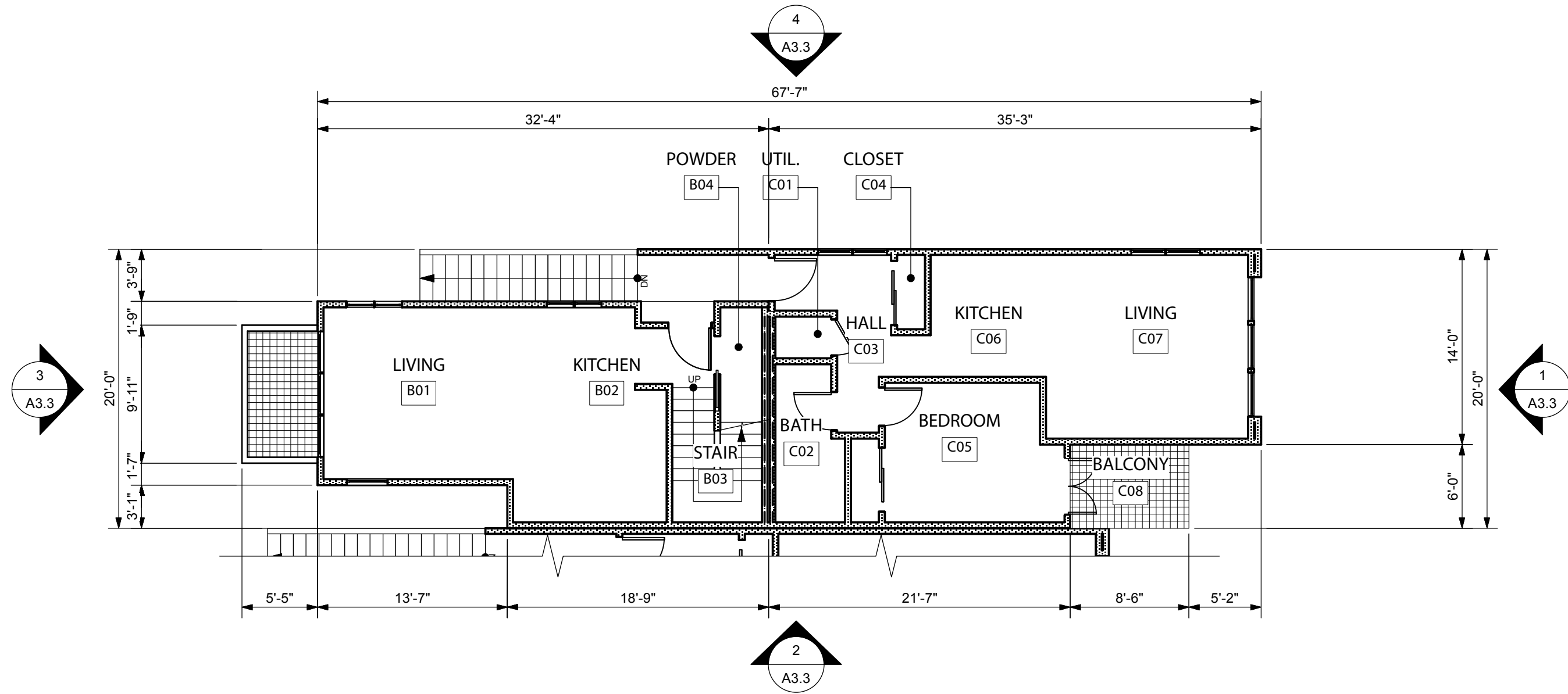
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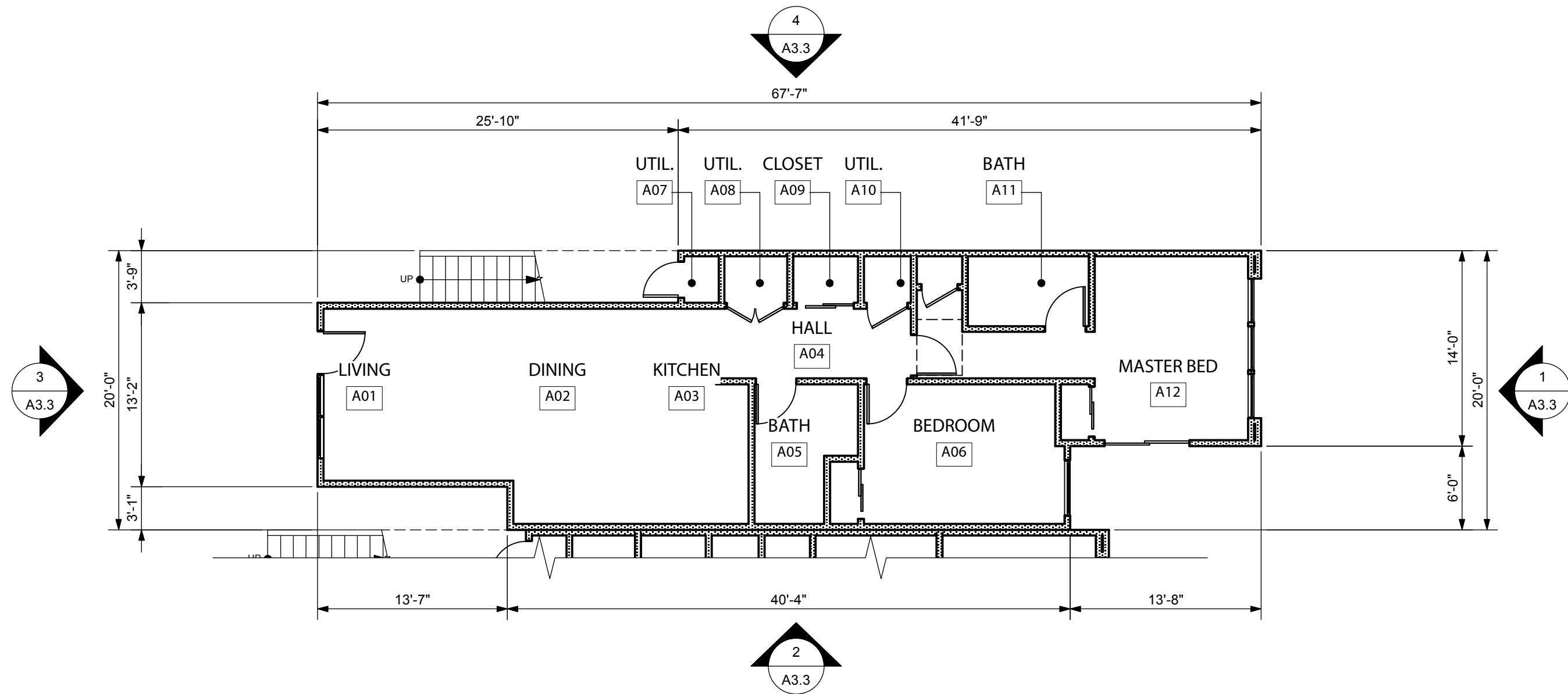
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MODULE C: FLOOR PLAN - LEVEL 3 **6**
SCALE 1/8" = 1'-0"

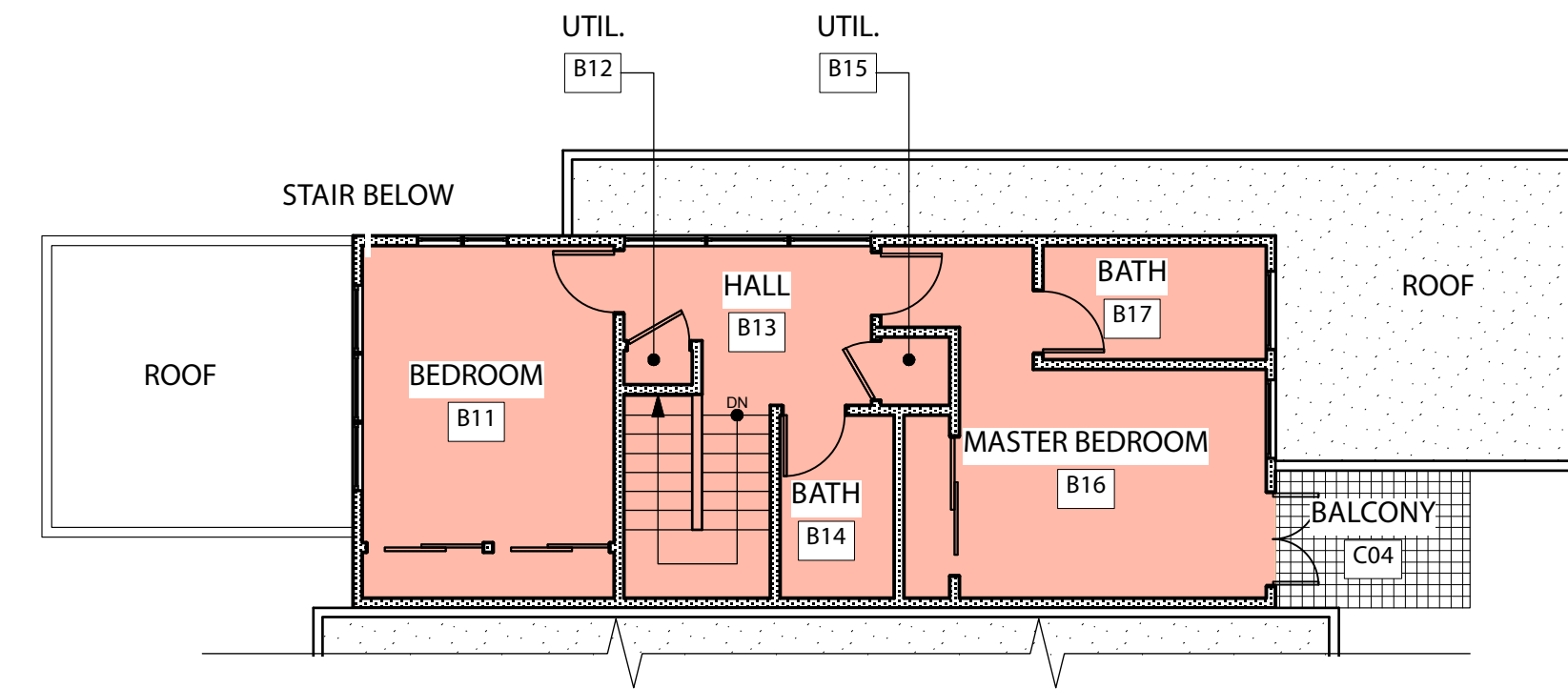


MODULE C: FLOOR PLAN - LEVEL 2 **5**
SCALE 1/8" = 1'-0"

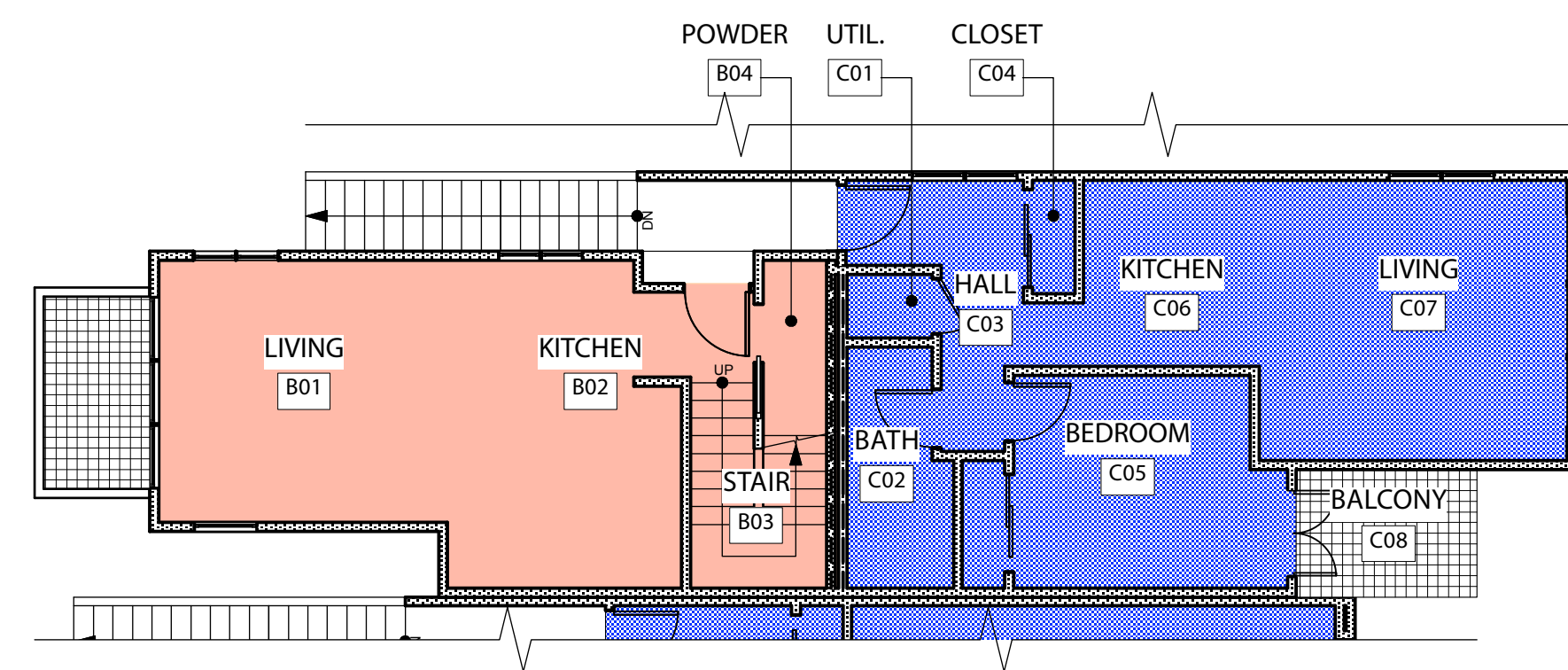


MODULE C: FLOOR PLAN - LEVEL 1 **4**
SCALE 1/8" = 1'-0"

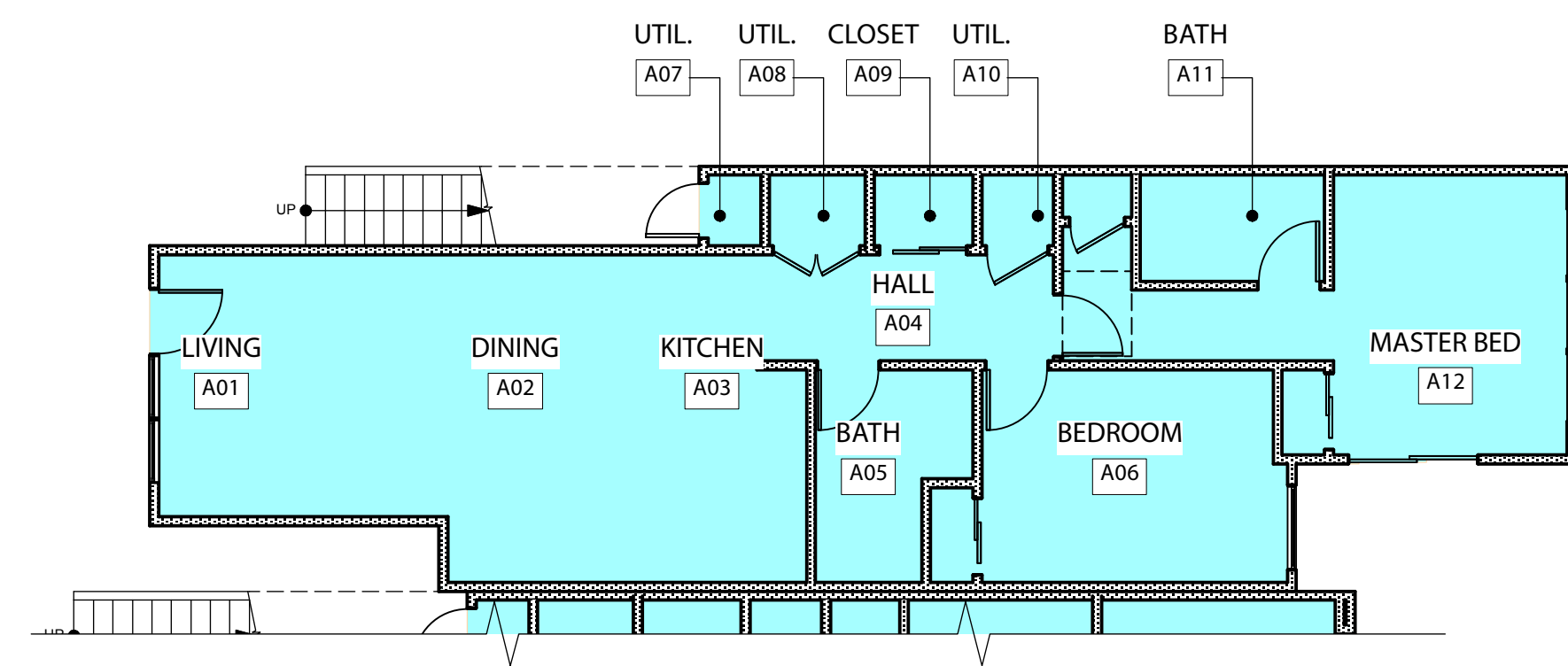
AREA SUMMARY	
FIRST FLOOR:	2 BEDROOM UNIT: 1,123 SF
SECOND FLOOR:	1 BEDROOM UNIT: 618 SF TYP.
SECOND / THIRD FLOOR:	2 BEDROOM UNIT: 476 + 655 = 1,131 SF
TOTAL BUILDING AREA: 20,104 SF TOTAL (20,104 SF < 20,124 SF (0.6:1 FAR), OK)	



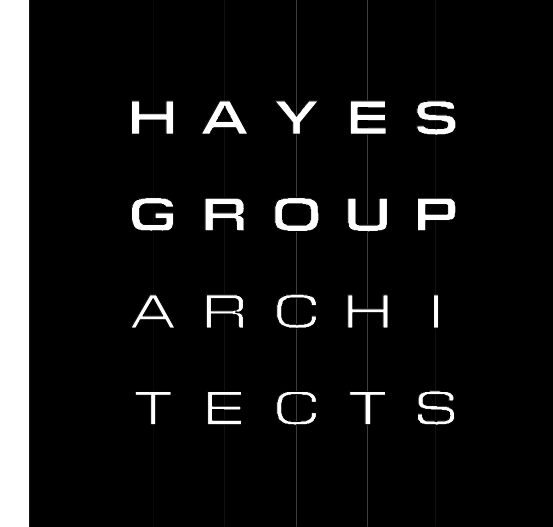
MODULE C: AREA CALCULATION - LEVEL 3 **3**
SCALE 1/8" = 1'-0"



MODULE C: AREA CALCULATION - LEVEL 2 **2**
SCALE 1/8" = 1'-0"



MODULE C: AREA CALCULATION - LEVEL 1 **1**
SCALE 1/8" = 1'-0"



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**4146 EL CAMINO REAL
PALO ALTO
CALIFORNIA, CA 94306**

DESCRIPTION
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03.31.14

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DRAWING CONTENT
**FLOOR PLANS
MODULE C**

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Date: 3/28/14
File name: 1223.00 A3.0 032714.vwx



DESIGN OPTIONS **2**
SCALE N.T.S.



SELECTED DESIGN ELEVATION ALONG EL CAMINO REAL **1**
SCALE 1/8"=1'-0"

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**STREETSCAPE ELEVATION
DESIGN OPTION**

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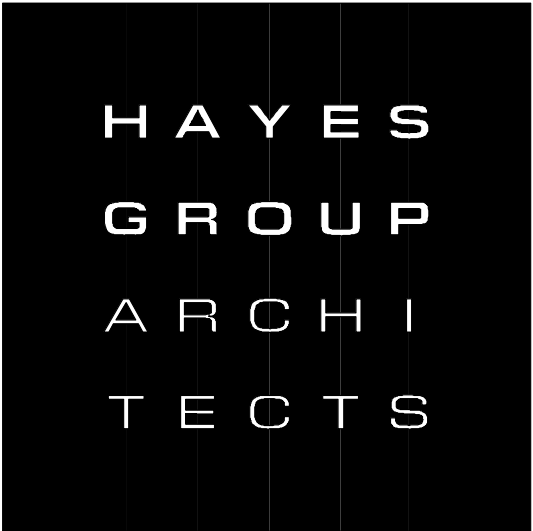
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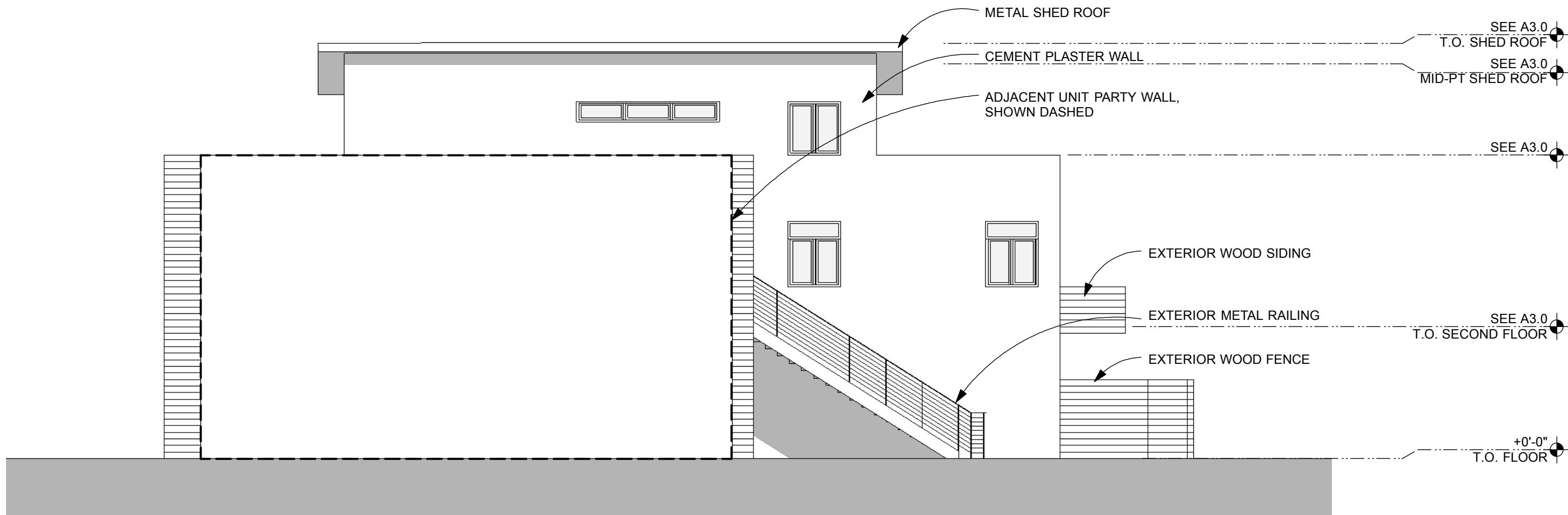
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DRAWING CONTENT
PROPOSED ELEVATIONS
MODULE A

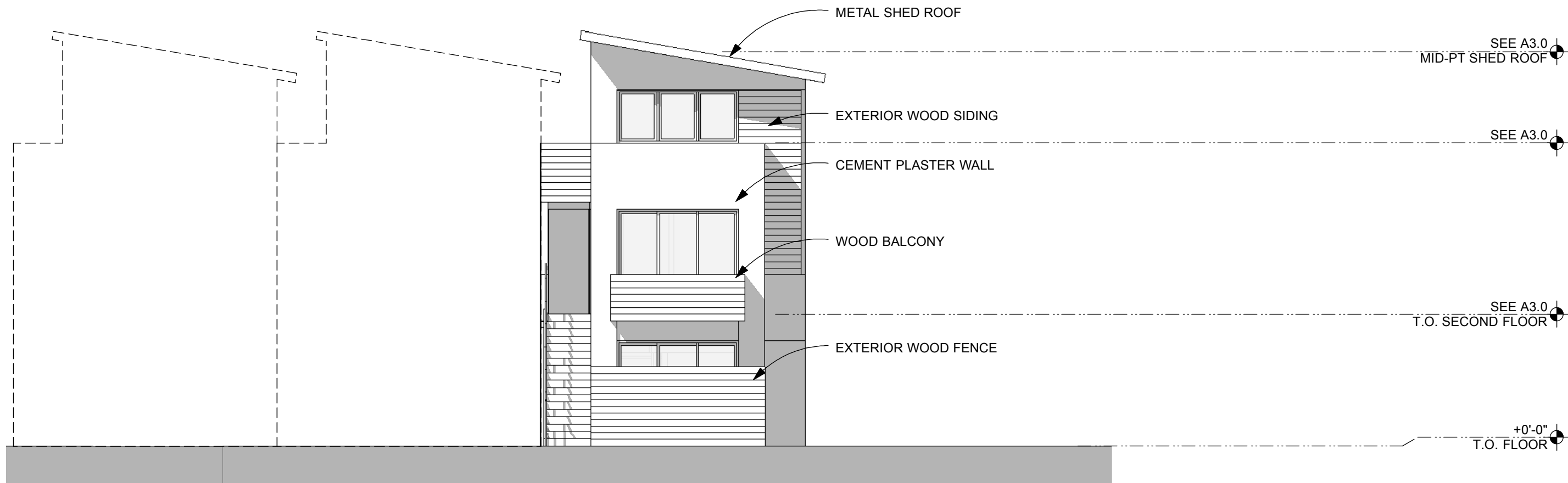
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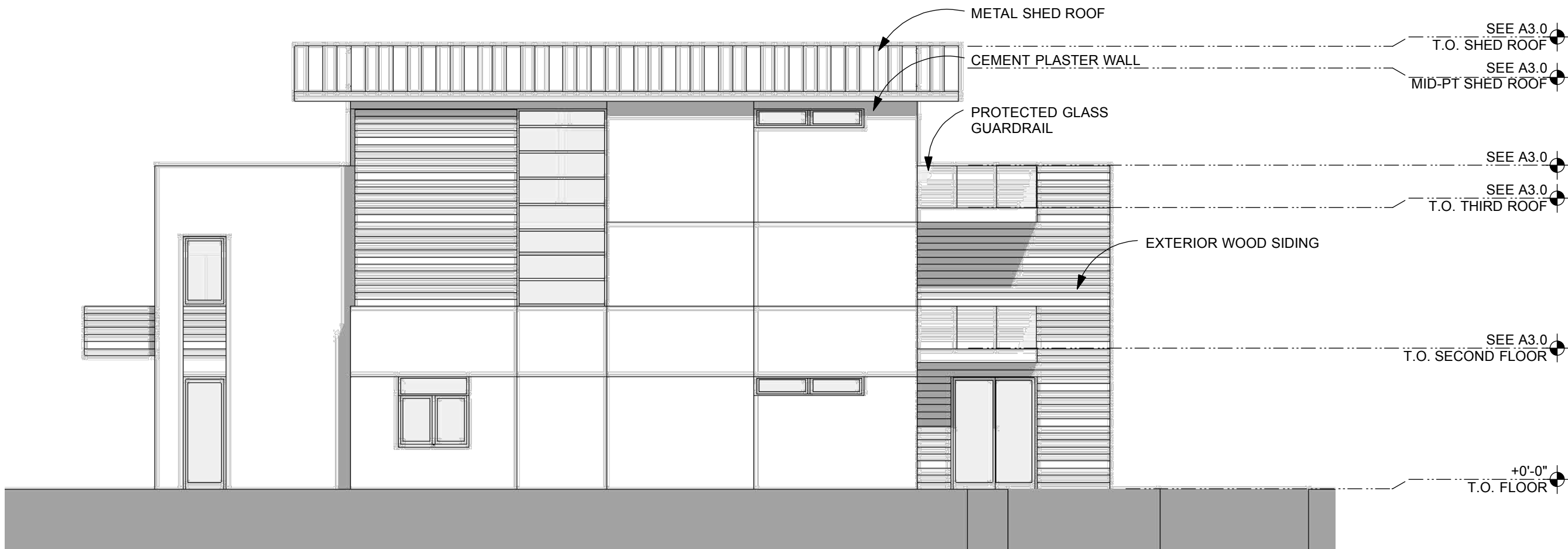
A3.1



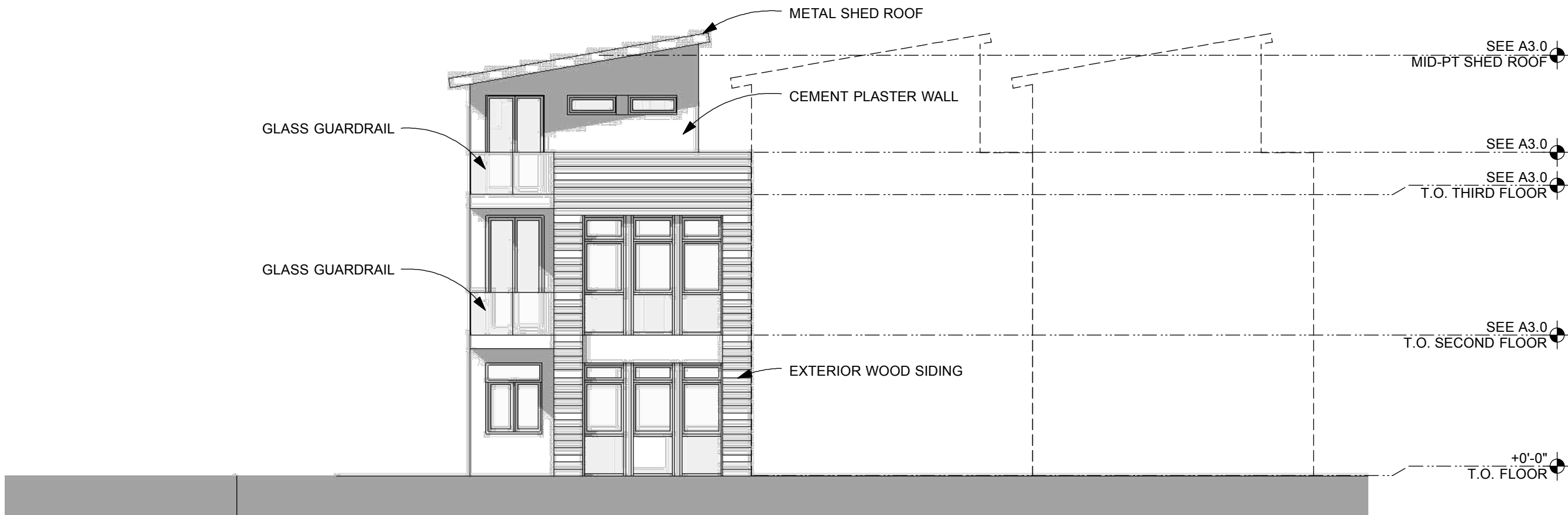
MODULE A: PROPOSED NORTH ELEVATION 4
SCALE 1/8" = 1'-0"



MODULE A: PROPOSED WEST ELEVATION 3
SCALE 1/8" = 1'-0"



MODULE A: PROPOSED SOUTH ELEVATION 2
SCALE 1/8" = 1'-0"



MODULE A: PROPOSED EAST ELEVATION ALONG EL CAMINO REAL 1
SCALE 1/8" = 1'-0"



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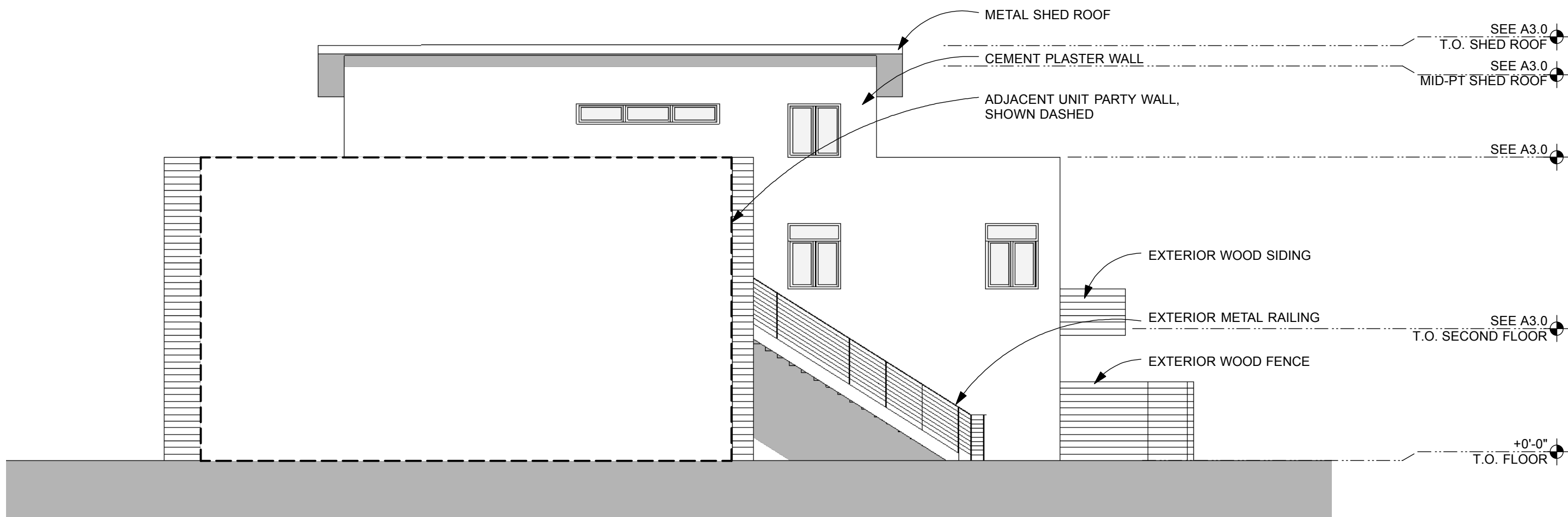
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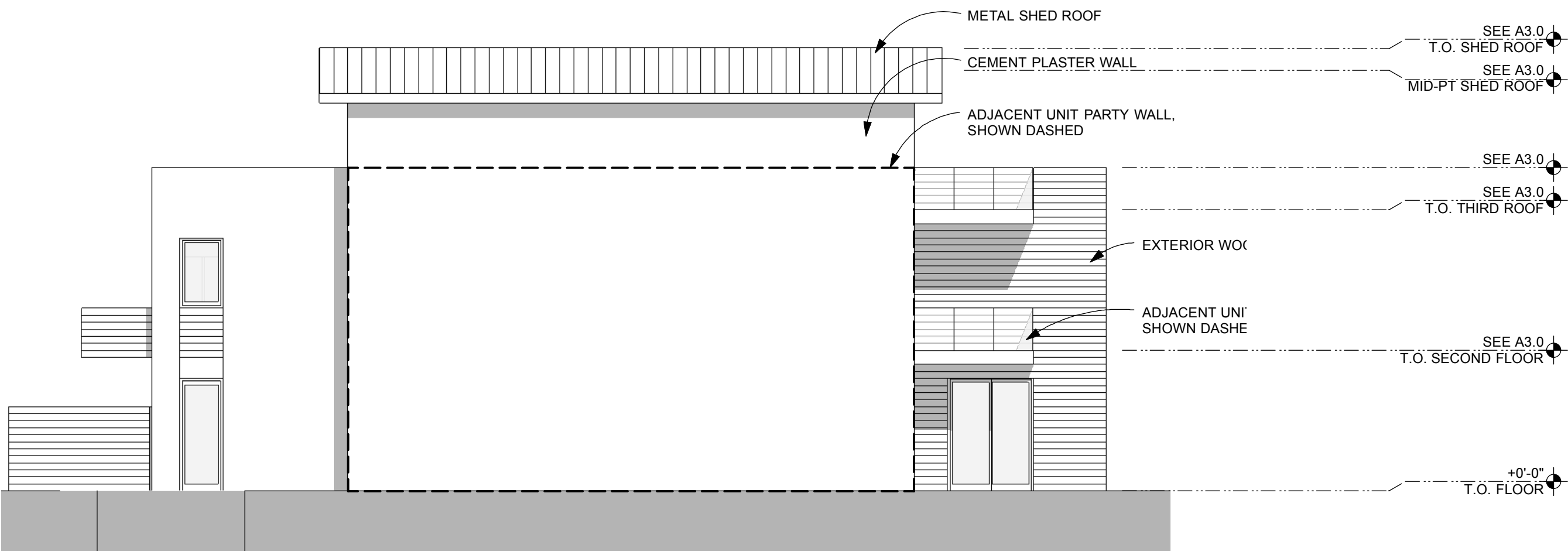
DRAWING CONTENT
PROPOSED ELEVATIONS
MODULE B

STAMP

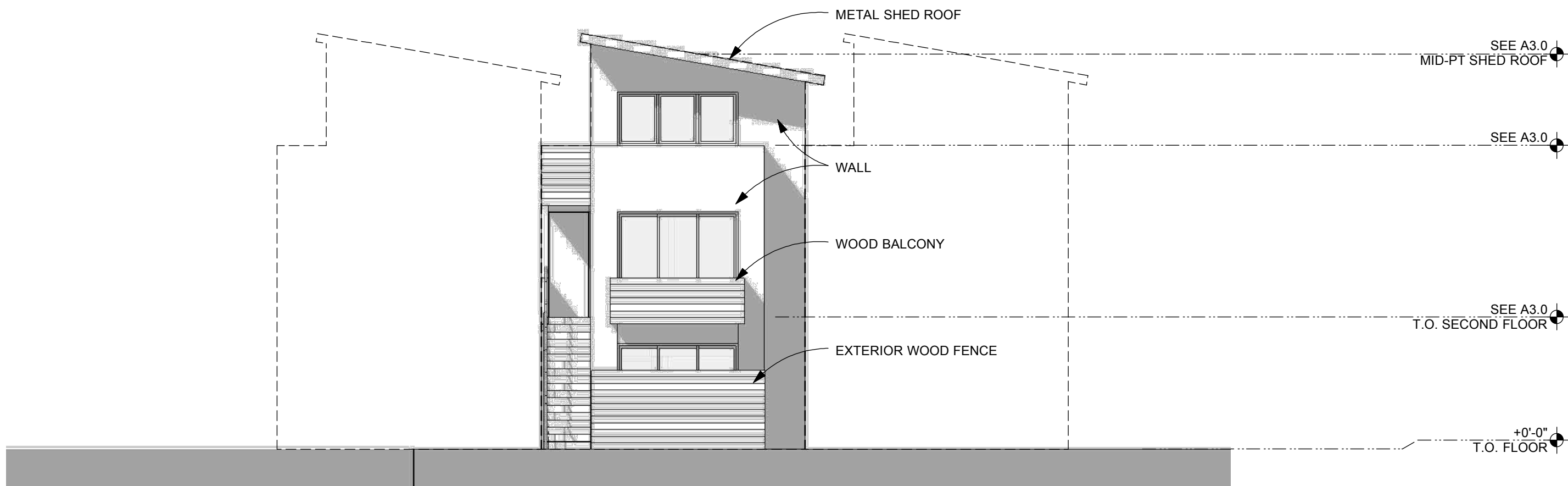
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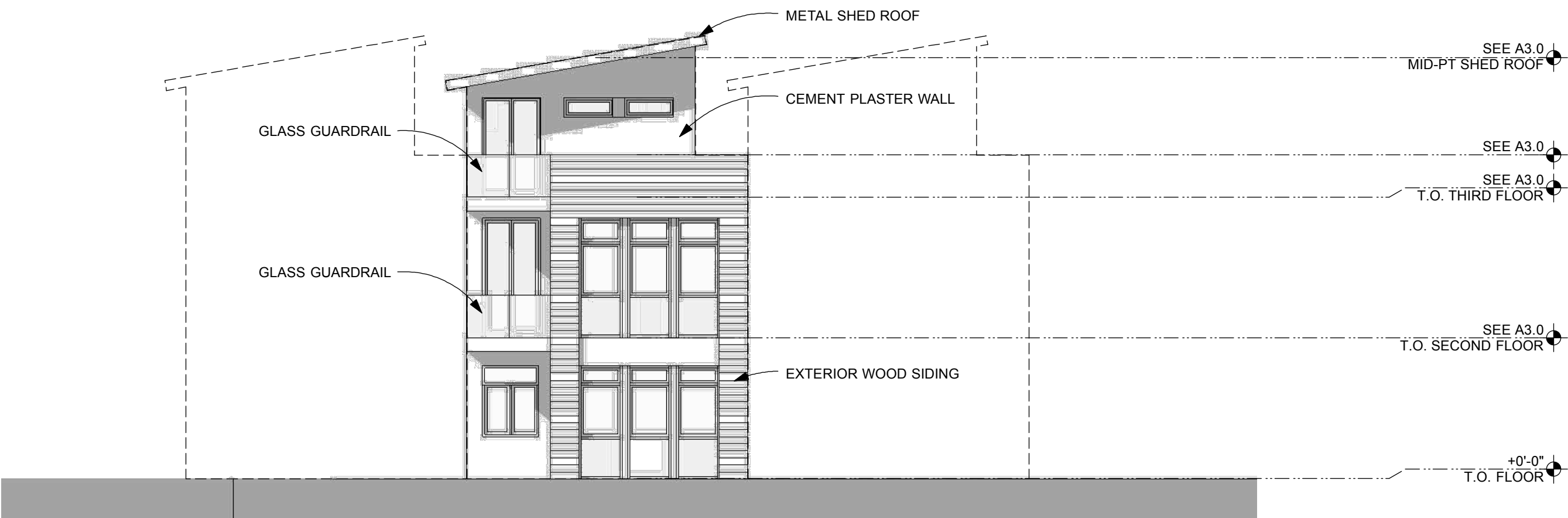
MODULE B: PROPOSED NORTH ELEVATION 4
SCALE 1/8" = 1'-0"



MODULE B: PROPOSED SOUTH ELEVATION 2
SCALE 1/8" = 1'-0"



MODULE B: PROPOSED WEST ELEVATION 3
SCALE 1/8" = 1'-0"



MODULE B: PROPOSED EAST ELEVATION ALONG EL CAMINO REAL 1
SCALE 1/8" = 1'-0"



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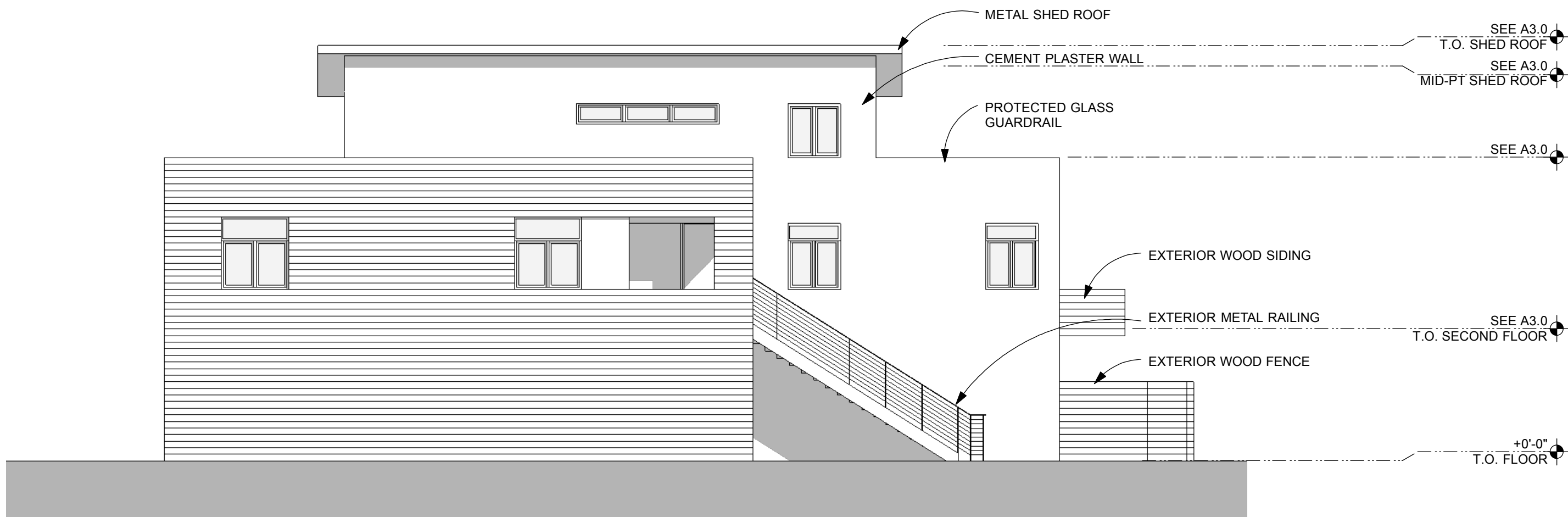
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DRAWING CONTENT
**PROPOSED ELEVATIONS
MODULE C**

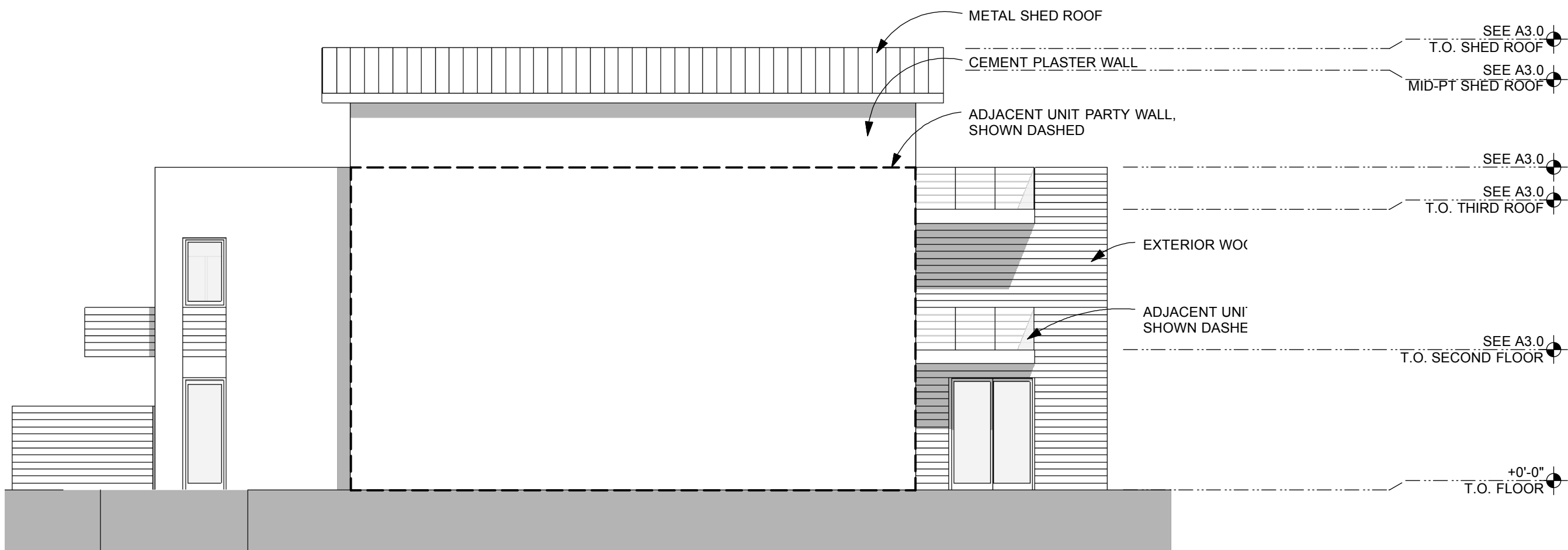
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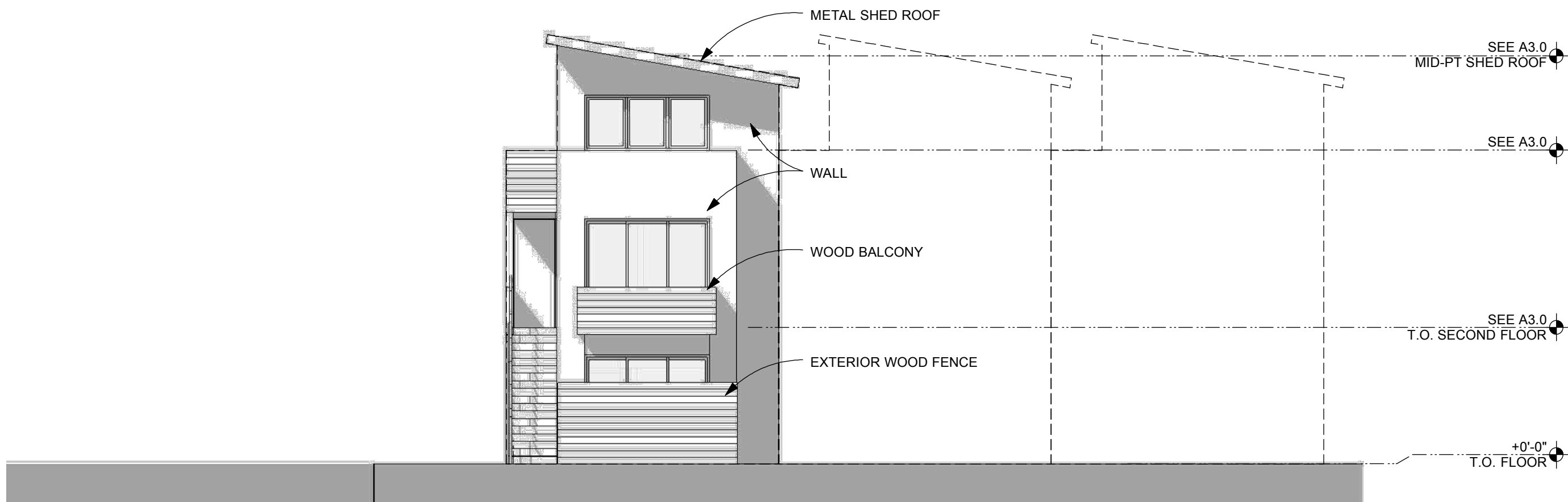
A3.3



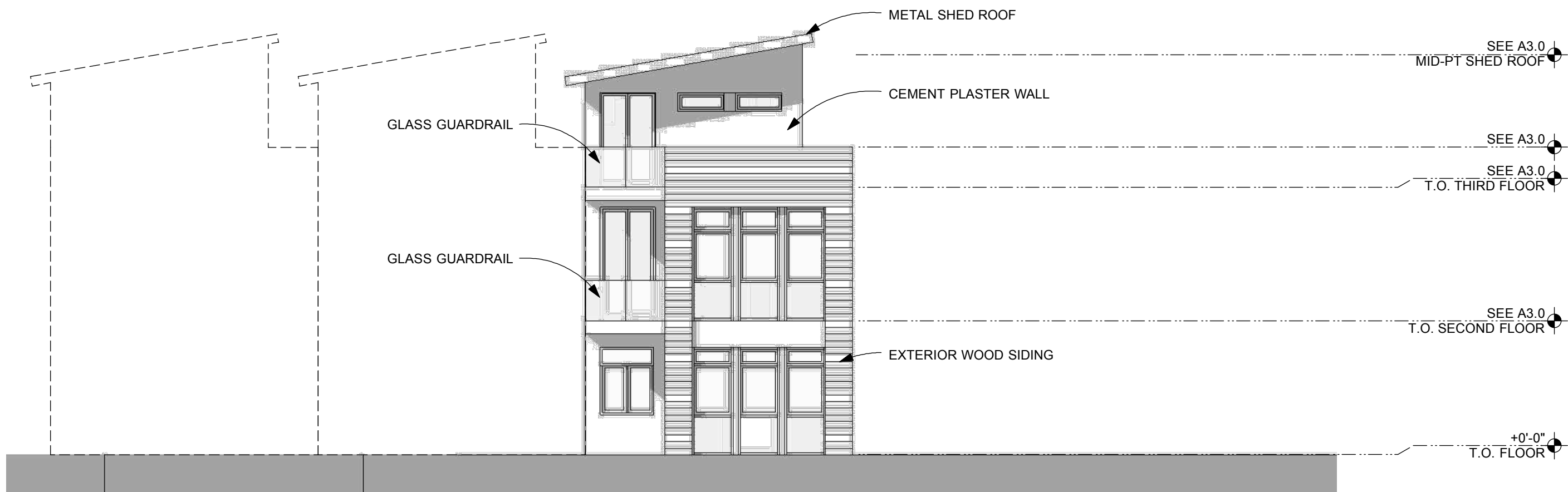
MODULE C: PROPOSED NORTH ELEVATION **4**
SCALE 1/8" = 1'-0"



MODULE C: PROPOSED SOUTH ELEVATION **2**
SCALE 1/8" = 1'-0"



MODULE C: PROPOSED WEST ELEVATION **3**
SCALE 1/8" = 1'-0"



MODULE C: PROPOSED EAST ELEVATION ALONG EL CAMINO REAL **1**
SCALE 1/8" = 1'-0"

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DRAWING CONTENT

PROPOSED SECTION

STAMP

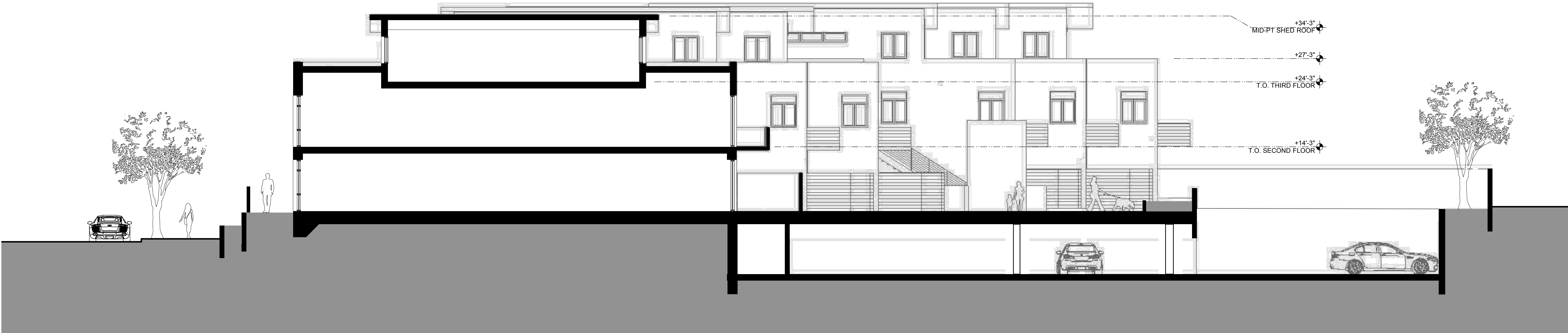
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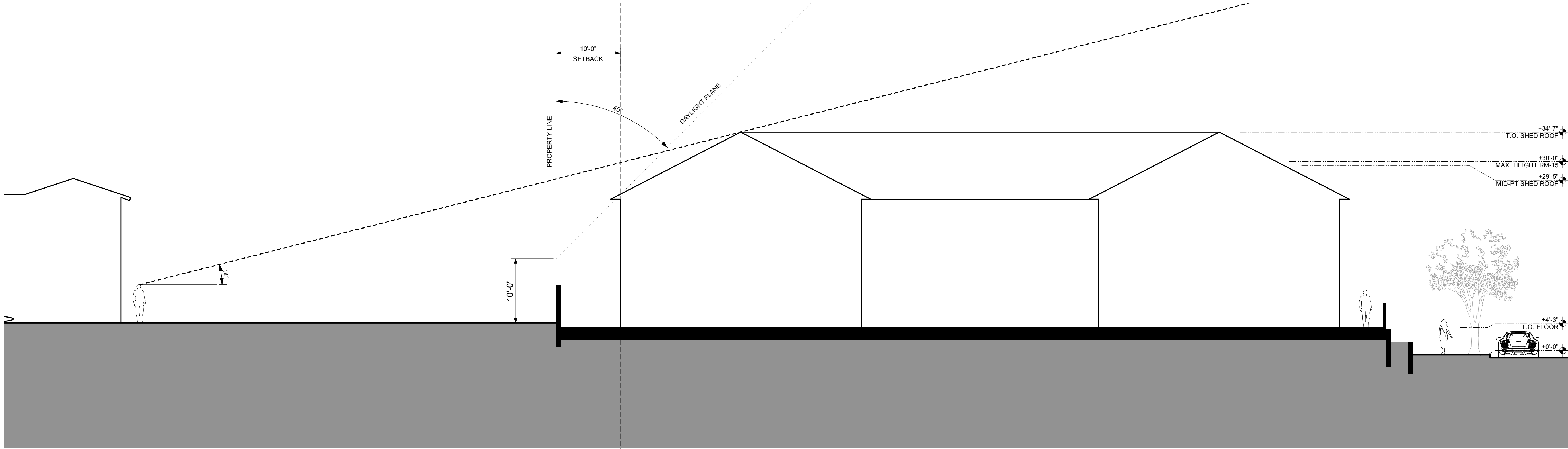
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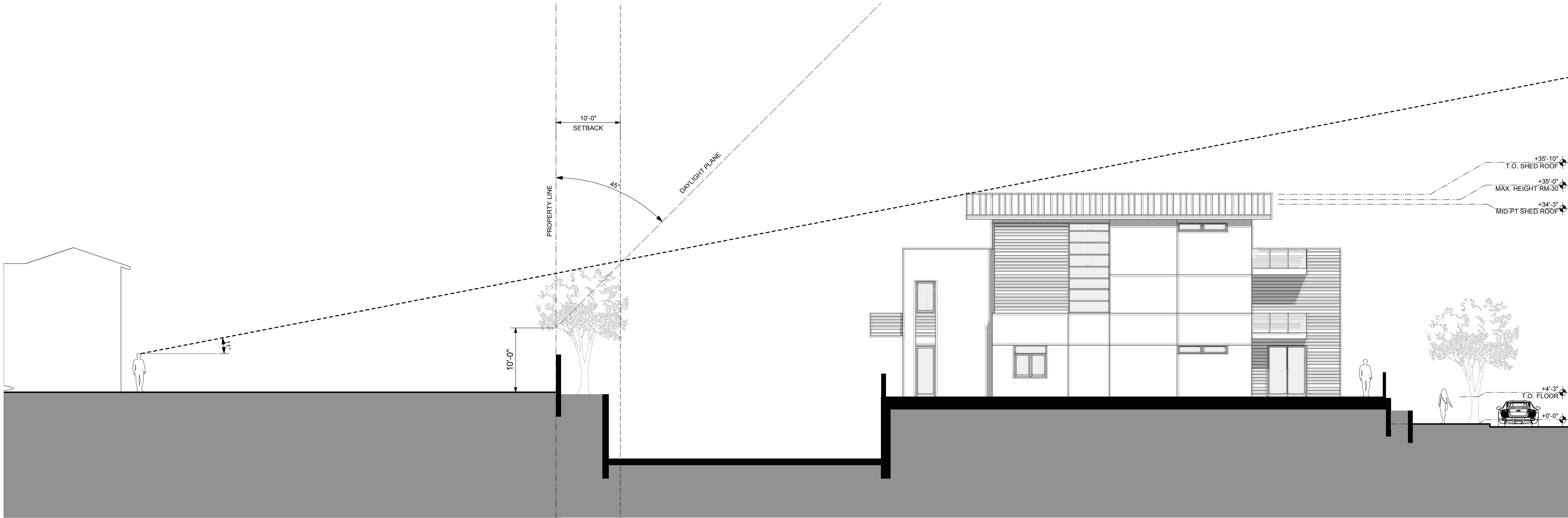


PROPOSED SECTION 1
SCALE 1/8" = 1'-0"

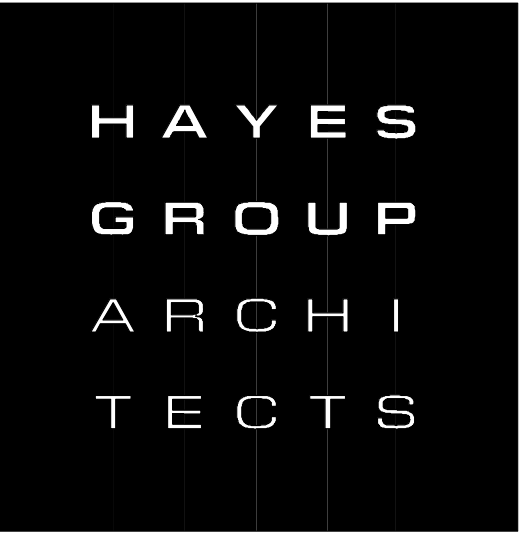
A3.4



TWO-STORY SIGHT LINE SECTION 2
SCALE 1/8" = 1'-0"



PROPOSED THREE-STORY SIGHT LINE SECTION 1
SCALE 1/8" = 1'-0"



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PRELIM ARB SUPPLEMENTAL INFO. A3.5
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DRAWING CONTENT

TWO-STORY AND
THREE-STORY SIGHT LINE
SECTIONS

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PROPOSED 3D RENDERING 4
SCALE 1/8" = 1'-0"



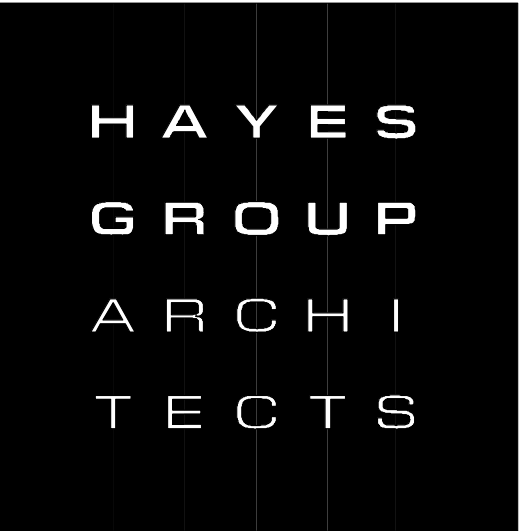
PROPOSED 3D RENDERING 2
SCALE 1/8" = 1'-0"



PROPOSED 3D RENDERING 3
SCALE 1/8" = 1'-0"



PROPOSED 3D RENDERING 1
SCALE 1/8" = 1'-0"



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PROPOSED 3D RENDERING 4
SCALE 1/8" = 1'-0"



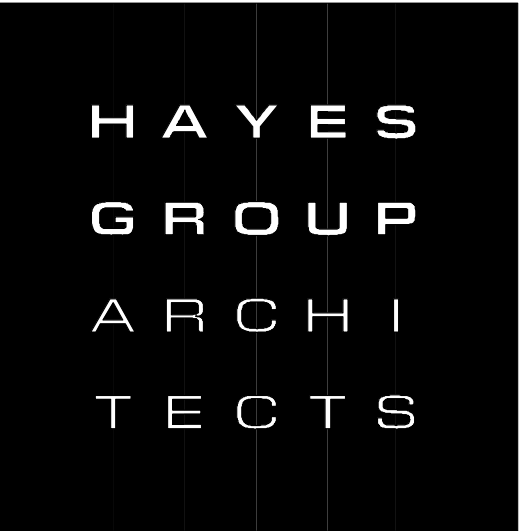
PROPOSED 3D RENDERING 2
SCALE 1/8" = 1'-0"



PROPOSED 3D RENDERING 3
SCALE 1/8" = 1'-0"



PROPOSED 3D RENDERING 1
SCALE 1/8" = 1'-0"



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CALIFORNIA, CA 94306

CONSULTANT

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects • Land Planners
181 Greenwich Street
San Francisco, CA 94111
T 415 433 4672
F 415 433 5003

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DRAWING CONTENT

ILLUSTRATIVE LANDSCAPE PLAN

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L-1.1

SHEET INDEX

- L-1.1 Illustrative Landscape Plan
- L-1.2 Imagery
- L-2.1 Landscape Notes and Legends
- L-2.2 Planting Notes & Legends
- L-3.1 Landscape Plan
- L-4.1 Landscape Details
- L-4.2 Landscape Details
- L-4.3 Landscape Details
- L-5.1 Irrigation Calculations
- L-6.1 Tree Protection Plan
- T-1 Tree Protection
- T-2 Tree Protection
- T-3 Tree Protection
- T-4 Tree Protection Site Map
- T-5 Tree Protection Photographs
- L-7.1 Parking Lot Shading Diagram

PLANTING



BAMBOO



SPECIMEN MAPLE TREE



SOUTHERN LIVE OAK AT PARKING ISLANDS



CHINESE PISTACHE



BIOSWALE PLANTING



TRISTANIA (WATER GUM)

HARDSCAPE ELEMENTS



PAVING BAND



PAVING CONCEPT



LAWN WEDGE



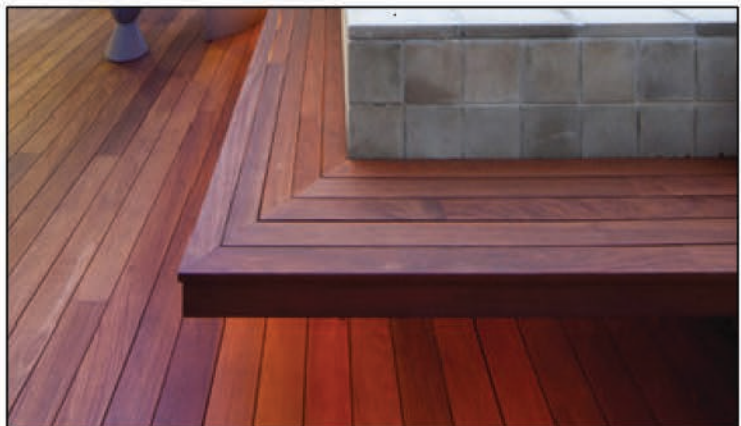
SCREEN FENCE W/ GATE



PLANTER POT



PLANTER WALL



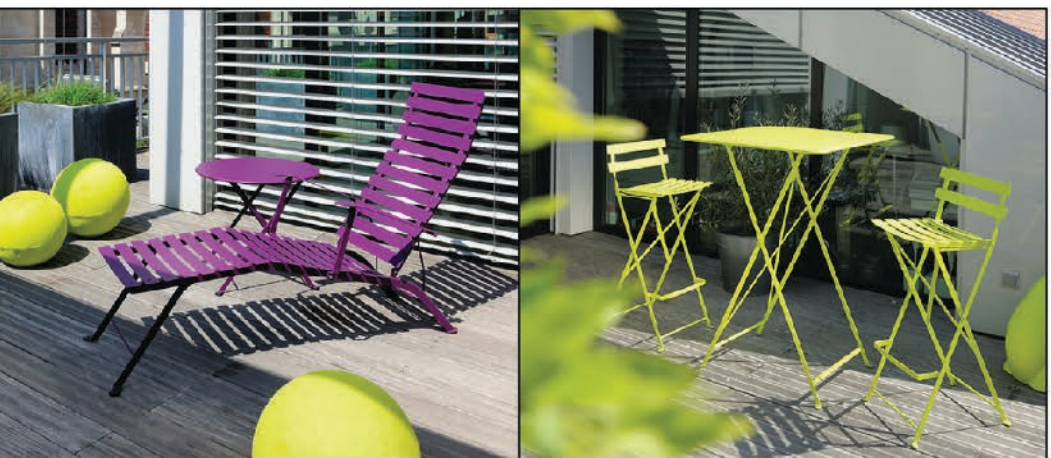
CANTILEVER BENCH



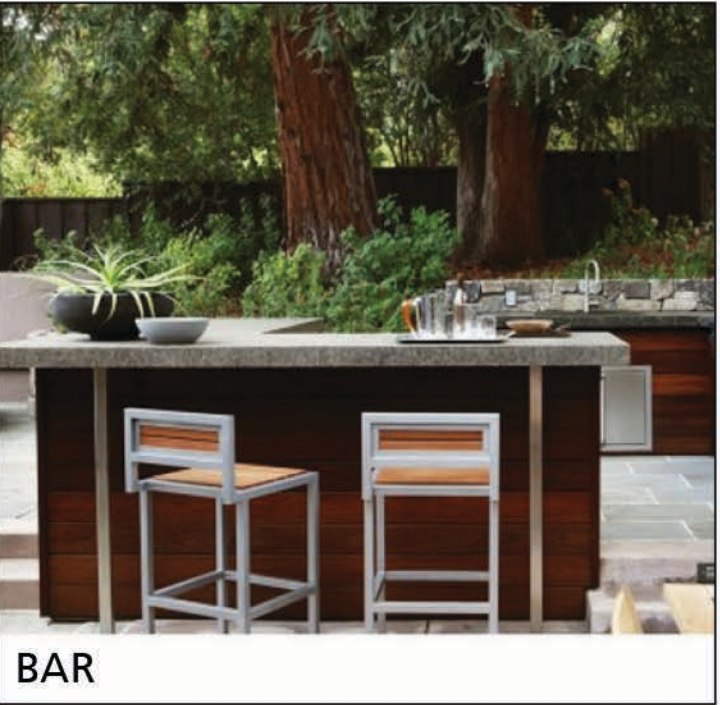
BIKE RACK



KITCHEN ISLAND W/ BBQ



FURNITURE



BAR



TRASH RECEPTACLE



SITE FENCE

LIGHTING



PARKING LOT POLE LIGHTS



PEDESTRIAN SCALE POLE LIGHTS



UP LIGHTS

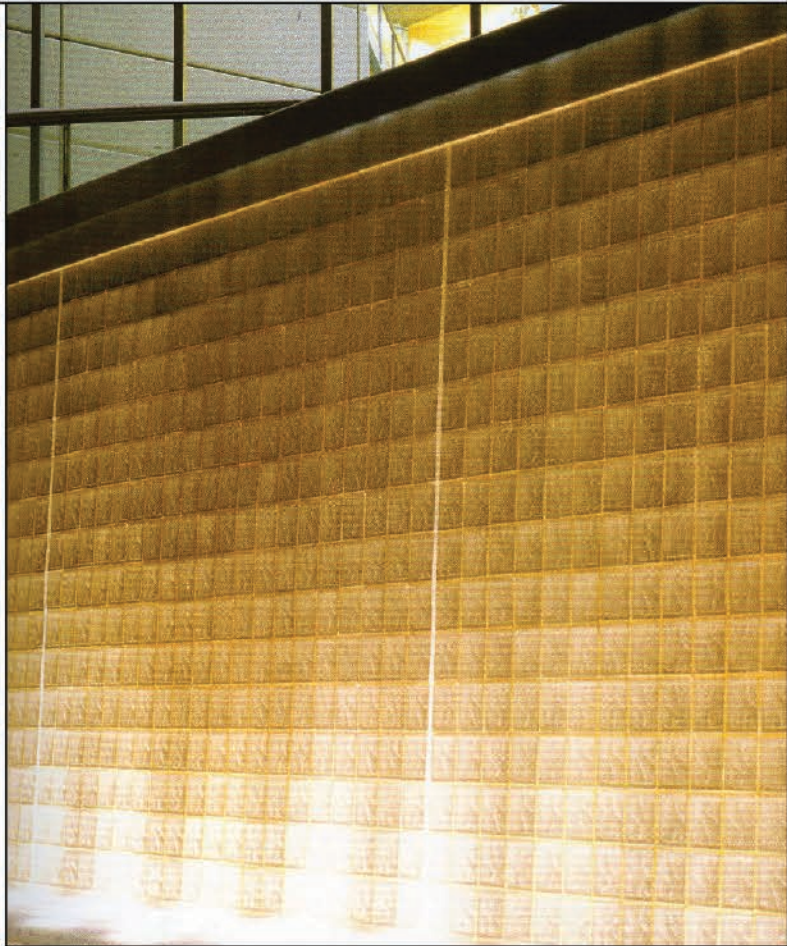


BENCH COVE LIGHTING

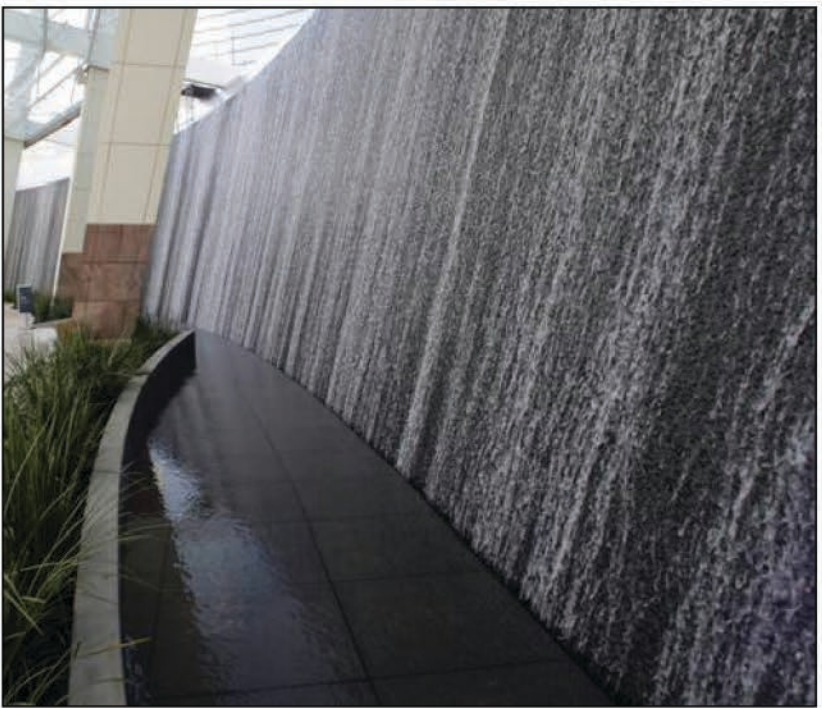
WATER FATURE/ART



ART ELEMENTS



WALL WATER FEATURE



WALL WATER FEATURE



ACCENT SCREEN / ART PANEL



SIGNAGE IN FOUNTAIN

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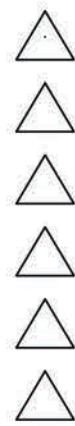
CONSULTANT

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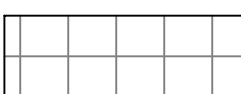
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L-1.2

LAYOUT LEGEND

	Pedestrian Concrete Paving Type 1		Detail Number Sheet Number
	Pedestrian Concrete Paving Type 2		Property Line
	Pedestrian Accent Paving Type 1		Edge of Structure
	Pedestrian Accent Paving Type 2		Fence Line
	Pedestrian Accent Paving Type 3	E.J.	Expansion Joint
	Gravel Paving	S.A.D.	See Architect’s Drawings
	Decomposite Granite Paving	S.C.D.	See Civil Engineer’s Drawings
	Structural Soil	S.E.D.	See Electrical Engineer’s Drawings
	Shrub and Ground Cover	S.M.D.	See Mechanical Engineer’s Drawings
		S.P.D.	See Plumbing Engineer’s Drawings
		S.C.F.S.	See Color and Finish Schedule
	Street Pole Light. S.C.D., S.E.D.		
	Pedestrian Scale Pole Light. S.E.D. See Color and Finish Schedule		
	Flood Light. S.E.D. See Color and Finish Schedule		
	Fire Hydrant S.C.D.		
	Planter Pot See Color and Finish Schedule		
	Bike Rack See Color and Finish Schedule		
	Table & Chairs See Color and Finish Schedule		

LAYOUT NOTES

- The Contractor shall verify all distances and dimensions in the field and bring any discrepancies to the attention of the Landscape Architect for a decision before proceeding with the work.
- Contractor to take all necessary precautions to protect buildings and waterproof membranes from damage. Any damage caused by the Contractor or the Contractor’s representatives during their activities shall be repaired at no cost to the Owner.
- All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of building wall, face of curb, edge of walk, property line, or centerline of column unless otherwise noted on the drawings.
- Walk scoring, expansion joints and paving shall be located as indicated on the Layout Plans, Landscape Construction Details, in the Specifications, or as field adjusted under the direction of the Landscape Architects.
- All architectural information is based on drawings prepared by:

Kyle Chan
Hayes Group Architects
2657 Spring St
Redwood City, CA 94063
650-365-0600
- All site civil information is based on drawings prepared by:

Isaac Kontorovsky
BKF
1650 Technology Drive, Suite 650
San Jose, CA 95110
408-467-9100
- The Contractor is to verify location of all on-site utilities before commencing with the work. The Contractor shall be responsible for the repair of any damage to utilities caused by the activities of the Contractor or the Contractor’s representatives. Any utilities shown on Landscape Drawings are for reference and coordination purposes only.
- Protect all existing construction from damage. The Contractor shall be responsible for the repair of any damage to existing construction caused by the activities of the Contractor or the Contractor’s representatives.
- Expansion joints shall be located no less than 16’ o.c. nor greater than 20’ o.c. and/or as indicated on the Layout Plans, Landscape Construction Details, in Specifications, or as field adjusted under the direction of the Landscape Architect.

COLOR AND FINISH SCHEDULE

PEDESTRIAN CONCRETE PAVING
Type 1 Natural grey concrete with light broom finish. Sweep perpendicular to path of travel.
Type 2 Integral color concrete, color #tbd with finish tbd.

*All colors to be: (DAVIS)

CONCRETE BANDS AT ACCENT PAVING
Color and finish to match Pedestrian Concrete Paving Type 1

PLANTER CURB
Natural grey concrete with light broom finish.

PEDESTRIAN ACCENT PAVING
Precast Concrete Pavers: Calstone; contact Mike Marhenke
Type 1 Mission Series, size:12x12x60mm, color: tbd, face mix, finish: tbd, pattern: tbd
Type 2 Mission Series, size:6x6x60mm, color: tbd, face mix, finish: tbd, pattern: tbd
Type 3 Mission Series, size:6x12x60mm, color: tbd, face mix, finish: tbd, pattern: tbd

GRAVEL
Lin Creek Pebbles, by Lyngso, tel. 650-364-1730
Color/finish: tbd

DECOMPOSED GRANITE
Color/finish: Tan, by Lyngso, tel. 650-364-1730

PLANTER WALL
Concrete: color tbd, with wood form board finish.

LAWN WALL
Steel plate per details, color/finish: tbd

TRASH RECEPTACLES/ASH URNS
Trash Receptacle 0-82 Element, by IAP, tel. 800-426-6471
Color/finish: tbd, recycle/trash top
Contractor to submit finish sample to Landscape Architect for approval prior to fabrication. Contractor to provide unit price. Quantity to be determined by Landscape Architect and Owner.

PRE-CAST PLANTERS
Precast planters 0-42 Monsoon, by IAP, tel. 800-426-6471
Size: 60x24x24h, Color/finish: tbd,

Contractor to submit finish sample to Landscape Architect for approval prior to acquisition or installation. Contractor to provide unit price.

LIGHTING FIXTURES
Parking Lot Pole Light: See Electrical Drawings.
WOW Large by iGuzzini, contact Scott Niles @ Lighting Systems, tel. 510-982-3909
Model: BH42, color / finish: gray metallic. QTY: 7

Pedestrian-scale Pole Light: See Electrical Drawings.
Treille, by Technilum, contact Scott Niles @ Lighting Systems, tel. 510-982-3909
Lumenpulse – LBS fixture, color/finish: RAL powdercoat color tbd.
QTY: 11

Cove Light: See Electrical Drawings.
TivoTape Outdoor SB 3.0, by Tivoli Lighting, contact Tim Haley @ ALR, tel. 510-638-3800 x 185
LED color: Warm White (2700K) QTY: 40 In ft

Up Light: See Electrical Drawings.
Micro Nite Star, by BKLighting, contact Tim Haley @ ALR, tel. 510-638-3800 x 185
Model: MN-LED-e37-FL-BLP-12-/-A-360SL QTY: 11

BENCH / BAR PANEL
Steel construction, color/finish: tbd; IPE wood slats per details.

FENCE
1) PROJECT FENCE W/ GATES
Metal Construction. Prime metal work with one (1) coat of rust-inhibiting paint. Apply two (2) coats finish paint to all exposed metal work except gate hardware. Color to be as selected by Landscape Architect and Owner.

2) GUARDRAIL / FENCE
Glass guardrail fence, 42” tall.

3) PRIVATE PATIO FENCE
Wood slat / metal construction. Color / finish: tbd

BIKE RACK
Edgetyre, by MMCite, contact Recreation Republic, tel. 888-843-6128
Model: STE410, color/finish: tbd, surface mounted.

OUTDOOR KITCHEN
1) BBQ Unit
Dacor Epicure 36” Built-In Grill, by Dacor, tel. (800) 793-0093
Model: OB36/NG, for use with Natural Gas. Include automatic timer shutoff valve.
2) Countertop
Caesarstone, contact Miguel Thurston, tel. 877-662-7001
Model: xx, color/finish: tbd.

FURNITURE
1) Tables & Chairs
Bistro series, by Fermob, contact local retailer
Classic Chair (2 per set) and 57x57 table (1 per set), color/finish: tbd
2) Bar Stools
Bistro series, by Fermob, contact local retailer
High Stool, color/finish: tbd



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LANDSCAPE NOTES & LEGENDS

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PLANTING NOTES

1.

All work shall be performed by persons familiar with planting work and under supervisions of a qualified planting foreman.
2.

Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
3.

All trees are to be staked as shown in the staking diagrams.
4.

Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
5.

The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
6.

All planting areas, except lawns and storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Prochip" by BFI (408.888.7632; www.bfi.com) or equal. This shall include all pre-cast planter pots. Mulch shall be Brown in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
7.

All street trees to be installed in accordance with the standards and specifications of the City of Palo Alto, California.
8.

Seasonal color is to be current and locally available. Plant material is to be selected by the Landscape Architect from a list of currently available stock provided by the Landscape Contractor prior to installation. Seasonal color to be 4" pots at 12" o.c. unless otherwise noted.
9.

The lawn shall be Pacific Sod "Medallion", installed per Pacific Sod's specifications. Trees planted in lawn areas shall not have lawn planted over the top of the rootball but shall have 12" diameter circle of lawn cut out for trimming purposes.
10.

Trees shall be planted to anticipate settlement.
11.

Plant material requiring iron supplements shall have chelated iron foliar feeding applications per manufacturer's specifications. See specifications for materials.
12.

All trees noted with 'deep root' and those planted within 5'–0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications for materials.
13.

Ground cover shall be planted as shown on the plan, including under shrubs and in tree watering basins.
14.

The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
15.

The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
16.

The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
17.

The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.

LIGHTWEIGHT SOIL MIX

The lightweight soil mix for all on-structural slab planting shall consist of the following components mixed thoroughly in the following proportions:

40%

Sand Lapis Sand, Fine, Free of Salt

25%

Red Cinders

25%

1/4 Inch Firbark (Untreated)

10%

Rough Grind Sphagnum Peat Moss

Fertilizers in the following amounts are to be added to each cubic yard of lightweight soil mix:

4.0 oz

Potassium Nitrate

4.0 oz

Potassium Sulphate

2.5 lbs

Single Super Phosphate

7.5 lbs

Dolomite Lime

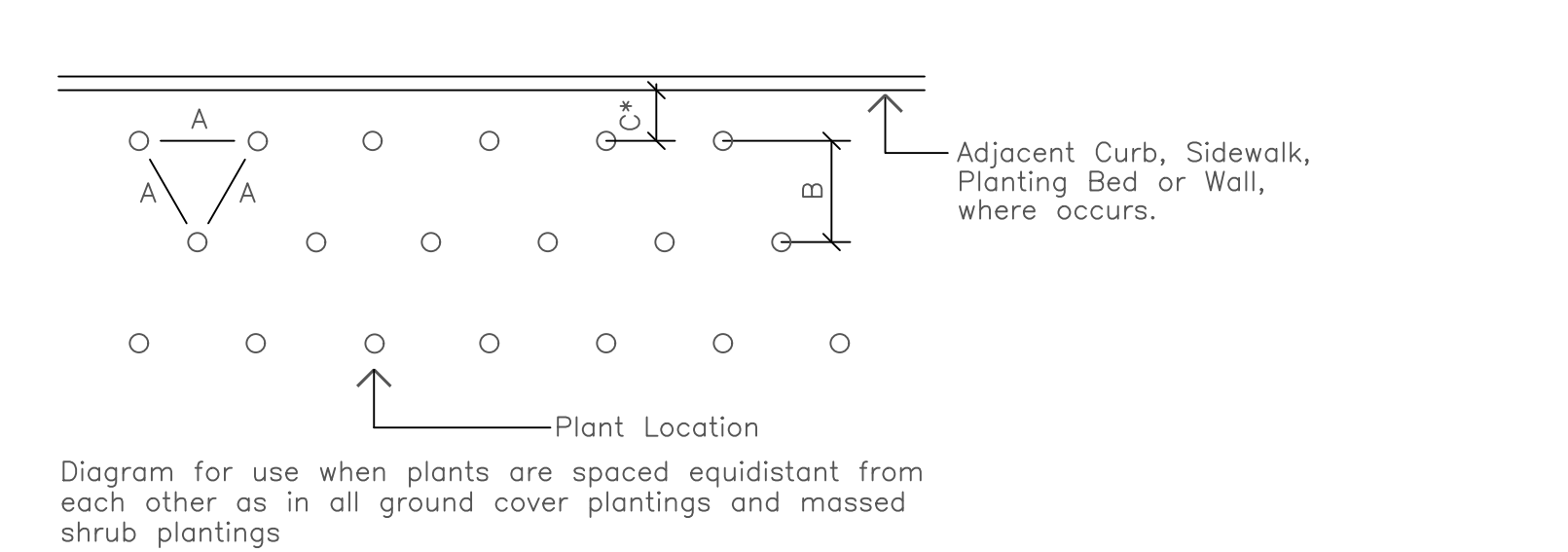
2.5 lbs

Calcium Carbonate

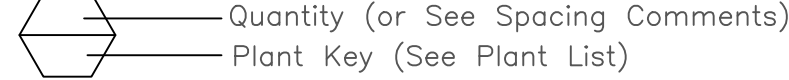
5.0 lbs

Hoof and Horn Meal

PLANT SPACING DIAGRAM



PLANT CALLOUT SYMBOL

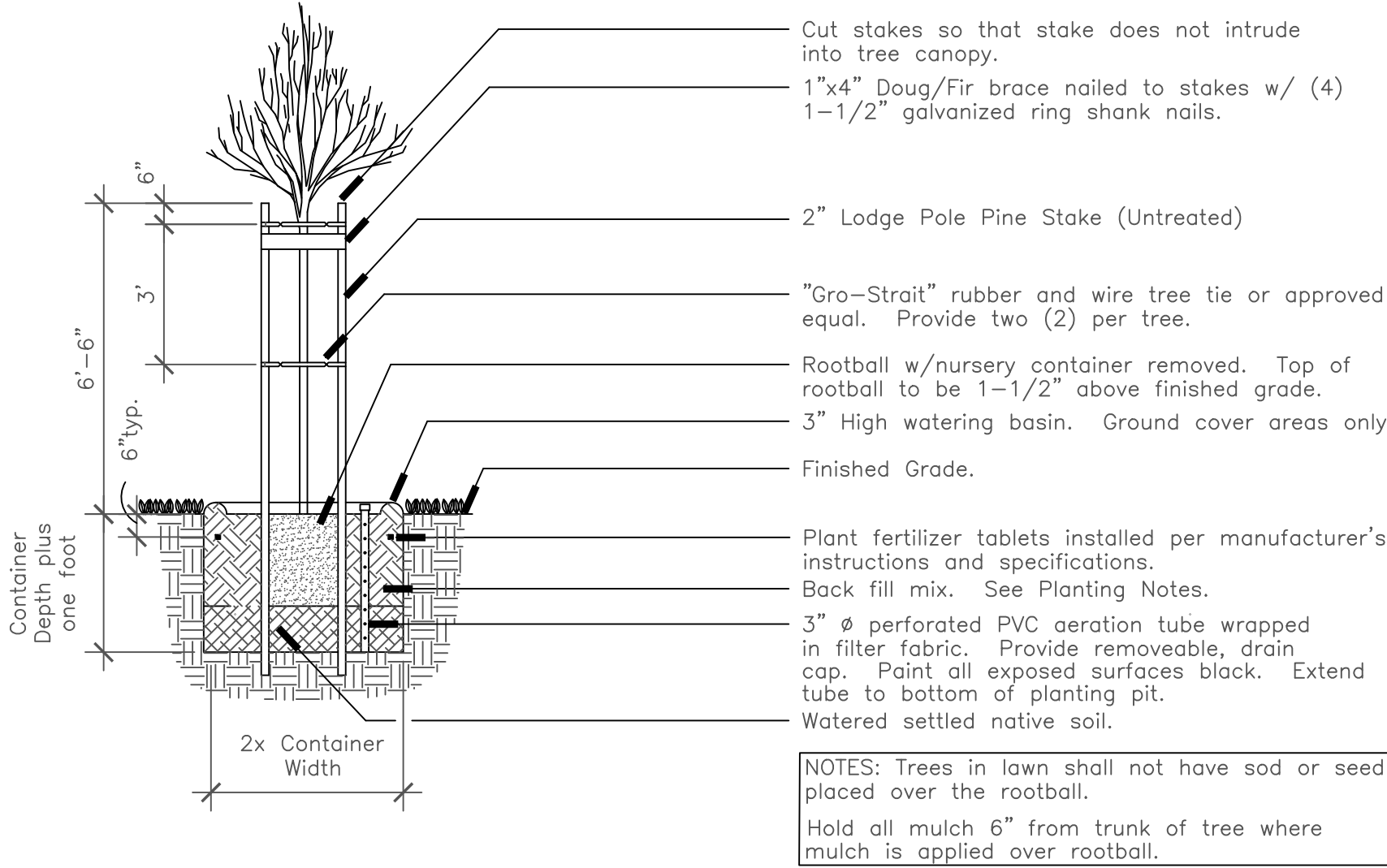


PLANT QUANTITY DIAGRAM

SPACING 'A'	SPACING 'B'	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
6" O.C.	5.20"	2.60"	4.60
8" O.C.	6.93"	3.47"	2.60
9" O.C.	7.79"	3.90"	1.78
10" O.C.	8.66"	4.33"	1.66
12" O.C.	10.40"	5.20"	1.15
15" O.C.	13.00"	6.50"	0.74
18" O.C.	15.60"	7.80"	0.51
24" O.C.	20.80"	10.40"	0.29
30" O.C.	26.00"	13.00"	0.18
36" O.C.	30.00"	15.00"	0.12
48" O.C.	40.00"	20.00"	0.07
72" O.C.	62.35"	31.18"	0.04

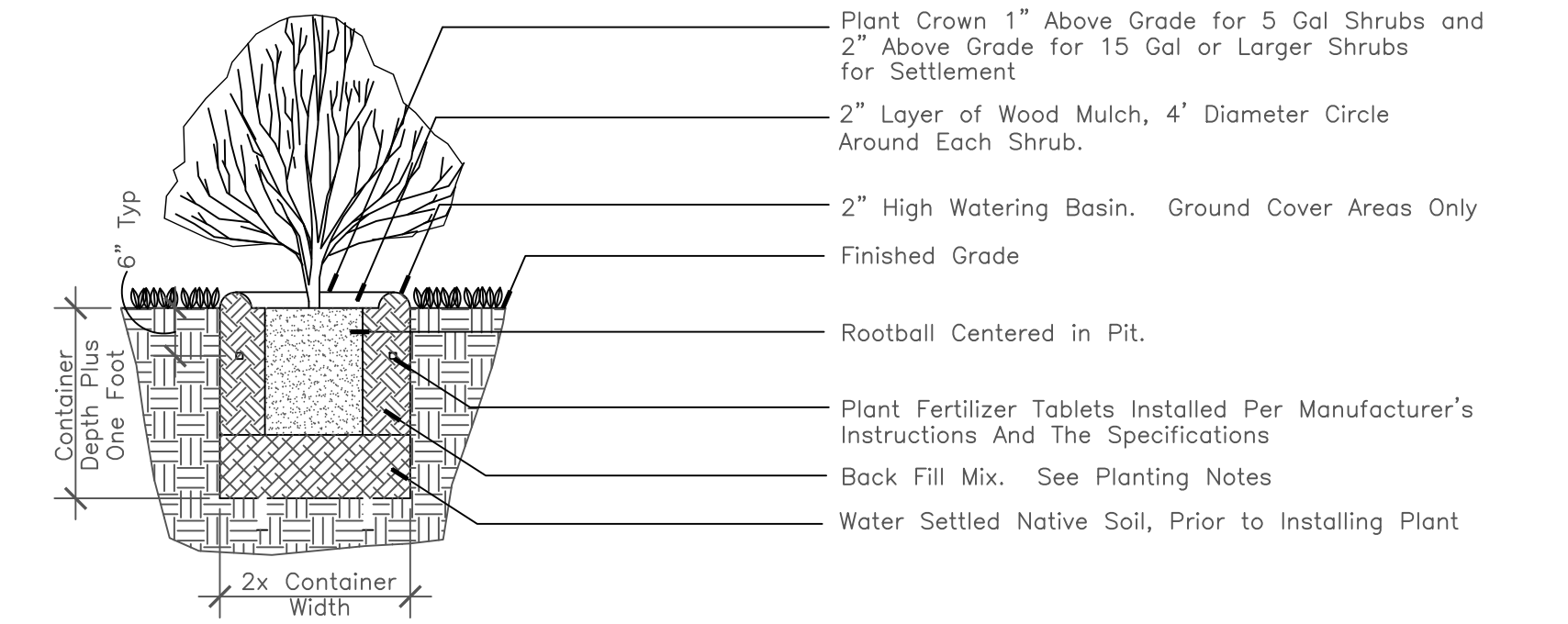
See Plant Spacing Diagram for maximum triangular spacing 'A'. This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.

* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where C=1/2 B.



Tree Staking Diagram w/Aeration Tube

Not to Scale



Shrub Planting Detail

Not to Scale

PLANT PALETTE

TREES							
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS	QTY	
ACE PAL	sp.	Acer palmatum	Japanes Maple	Multi-trunk	M		
PIS CHI	*	Pistachia chinensis	Chinese Pistache		L		
QUE VIR	*	Quercus virginiana	Southern Live Oak		L		
TRI LAU	*	Tristania laurina	Sweet Gum		L		
* 24" BOX tree unless noted otherwise on planting plan							
** contractor to provide pictures before final selection of specimen trees							

TOTAL NUMBER OF NEW TREES:						
SHRUBS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS		
AZW	5 gal	Aeonium Zwartkop	Aeonium		L	
BAK	15 gal	Bambusa m. 'Alphonse Karr'	'Alphonse Karr' Bamboo		L	
CCA	15 gal	Carpenteria californica (s)	Bush Anemone	—	L	
DBI	5 gal	Dietes bicolor	Fortnight Lily	30" O.C.	L	
DFA	15 gal	Drepanostachyum falcatum	Blue Bamboo		L	
NGS	5 gal	Nandina d. 'Gulf Stream'	'Gulf Stream' H. Bamboo	x	L	
LIG	1 gal	Lavandula intermedia 'Grosso'	Hedge Lavender	24" O.C.	L	
LCH	15 gal	Loropetalum chinense	Loropetalum	36" O.C.	L	
PNI	15 gal	Phyllostachys nigra	Black Bamboo		L	
PAT	15 gal	Phormium 'Atropurpureum'	Phormium 'Atropurpureum'	60" O.C.	L	
PJS	15 gal	Phormium 'Jack Spratt'	Phormium 'Jack Spratt'	24" O.C.	L	
PMJ	5 gal	Phormium 'Margaret Jones'	Margaret Jones Flax	24" O.C.	L	
PGU	5 gal	Phormium 'Guardsman'	Guardsman Flax	48" O.C.	L	
PTT	1 gal	Phormium 'Tom Tumb'	'Tom Tumb' Flax	18" O.C.	L	

SUB SHRUBS, GRASSES, FERNS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS	QTY
AGV	5 gal	Anigozanthos hybrids 'Gold Velvet'	Yellow Kangaroo Paw	30" O.C.	L	
ACI	5 gal	Acacia 'Cousin Itt'	'Cousin Itt' Acacia	36" O.C.	VL	
CTE	5 gal	Chondropetalum tectorum	Cape Rush	30" O.C.	L	
CKF	5 gal	Calamagrostis 'Karl Foerester'	Feather Reed Grass	36" O.C.	L	
CGD	1 gal	Crocasmia 'George Davidson'	Yellow Montbrieta	—	L	
HSE	5 gal	Helicotrichon sempervirens	Blue Oat Grass	30" O.C.	L	
FEB	1 gal	Festuca G. 'Elijah Blue'	Elijah Blue Fescue	18" O.C.	L	
MRM	5 gal	Muhlenbergia 'Regal Mist'	Pink Muhly	36" O.C.	L	
PCA	5 gal	Polystichum californicum	Sword Fern	36" O.C.	L	
SLM	5 gal	Salvia leucantha 'Midnight'	Purple Mexican Sage	30" O.C.	L	

GROUNDCOVERS						
ROS	5 gal	Rosemary 'Prostrata'	Creeping Rosemary	24" O.C.	L	
SSB	1 gal	Salvia l. 'Santa Barbara'	Santa Barbara Mex. Sage	24" O.C.	L	
SED	Flats	Sedum 'Lemon Lime'	Stonecrop	—	L	
OSV	1 gal	Oxalis spiralis vulcanicola	Purple Oxalis	—	L	
SSO	1 gal	Salvia sonomensis	Creeping Sage	24" O.C.	L	

VINES						
BO	5 gal	Bougainvillea 'Oo-La-La'	Oo La La Bougainvillea		L	
CA	5 gal	Clematis armandii	Evergreen Clematis		M	

**NOTE: Plant quantities listed are approximate. The above plants have been selected as being representative of the overall planting design intent. This plant palette is suggested for use, but does not preclude use of other appropriate plant material. Water-conserving plants and other climate appropriate varieties of trees, shrubs and ground covers have been selected to complement the character of the project.

All planted areas are to be watered with an approved automatic underground irrigation system. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with the State and Water District's water conservation ordinance.

The final construction documents will provide the contractor with an understanding of the design intent for the maintenance of the planting areas regarding care and pruning of the site. The maintenance contractor shall furnish all labor, equipment, materials and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.



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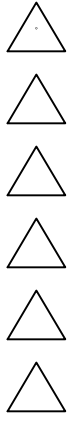
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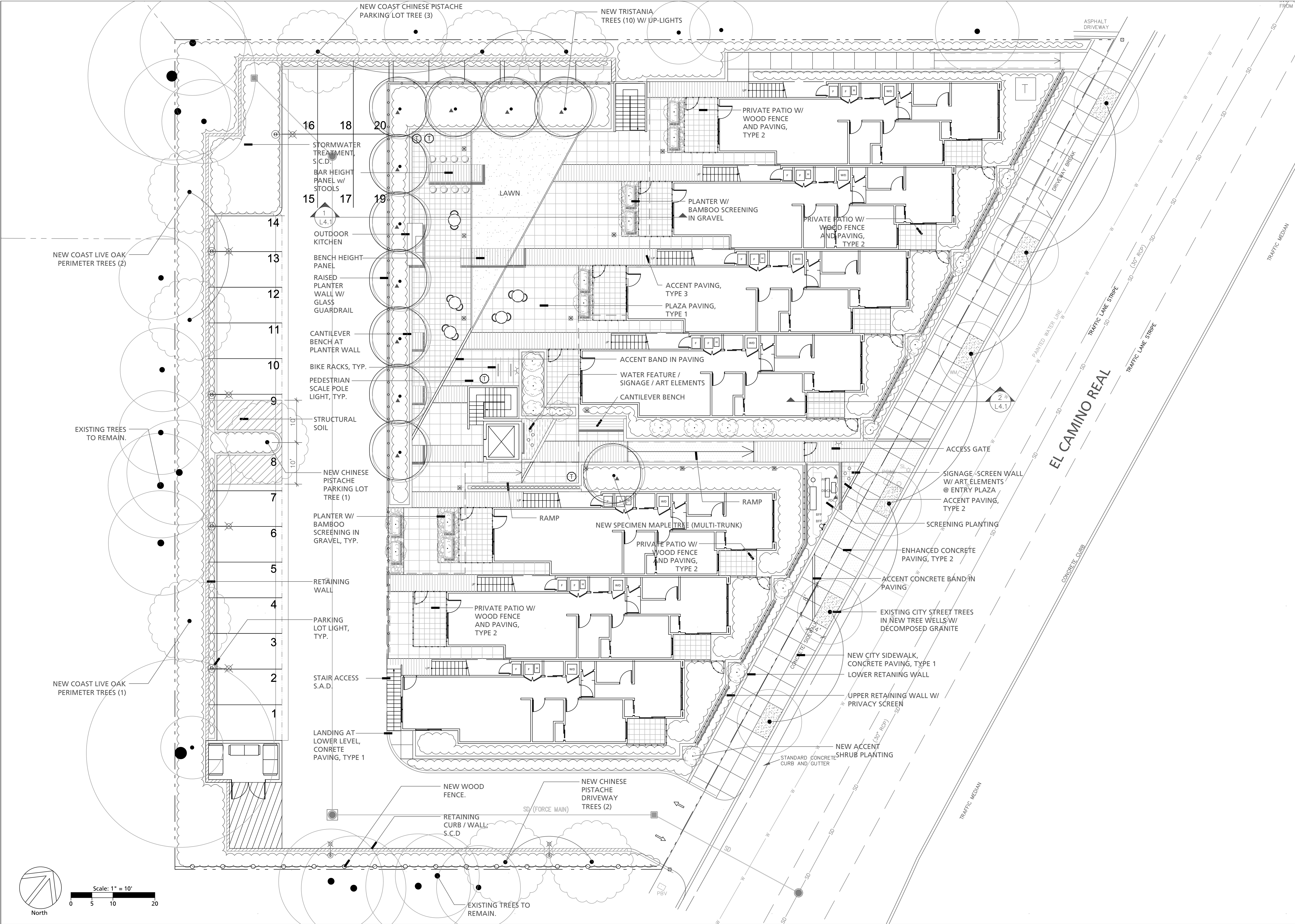


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PLANTING NOTES & LEGENDS

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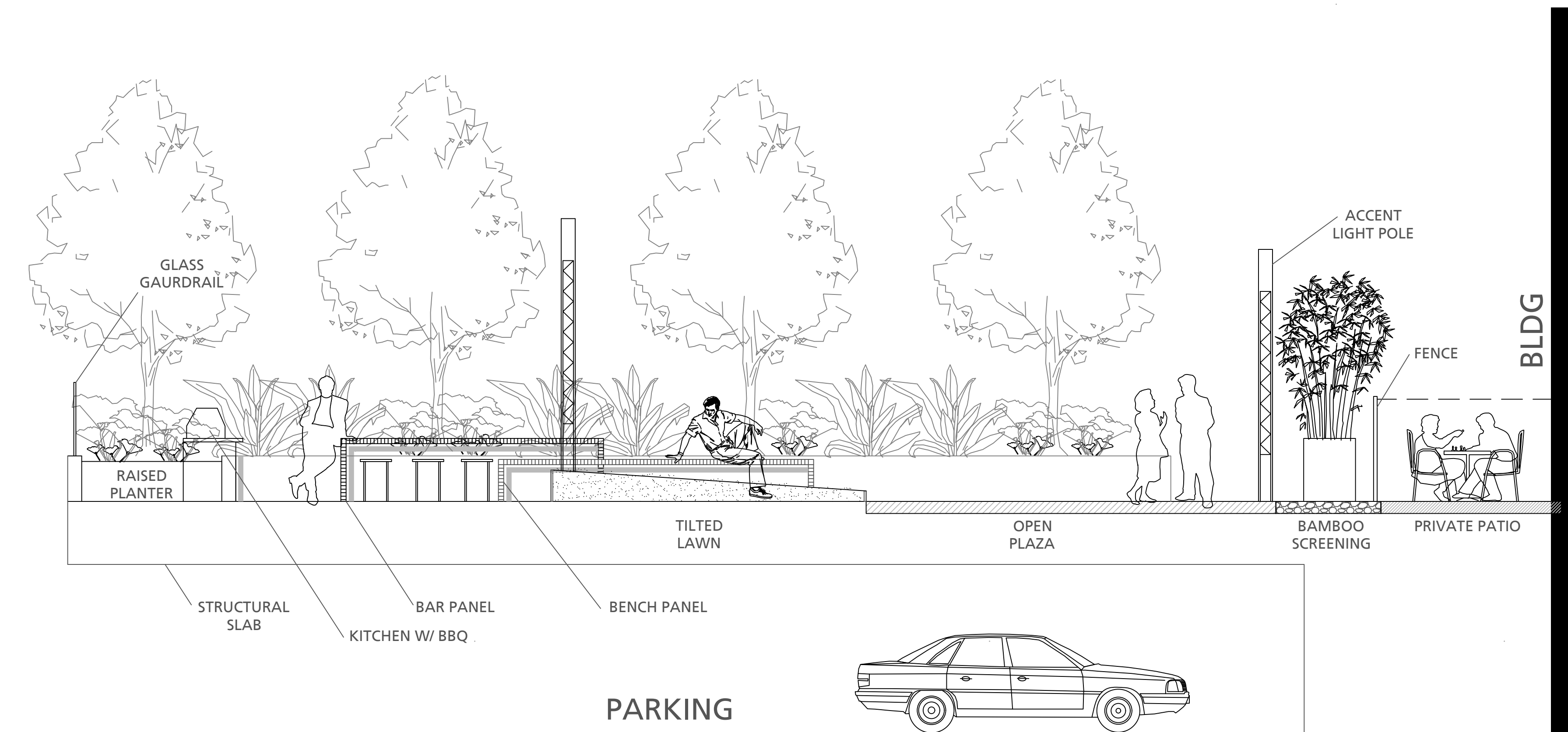
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LANDSCAPE PLAN

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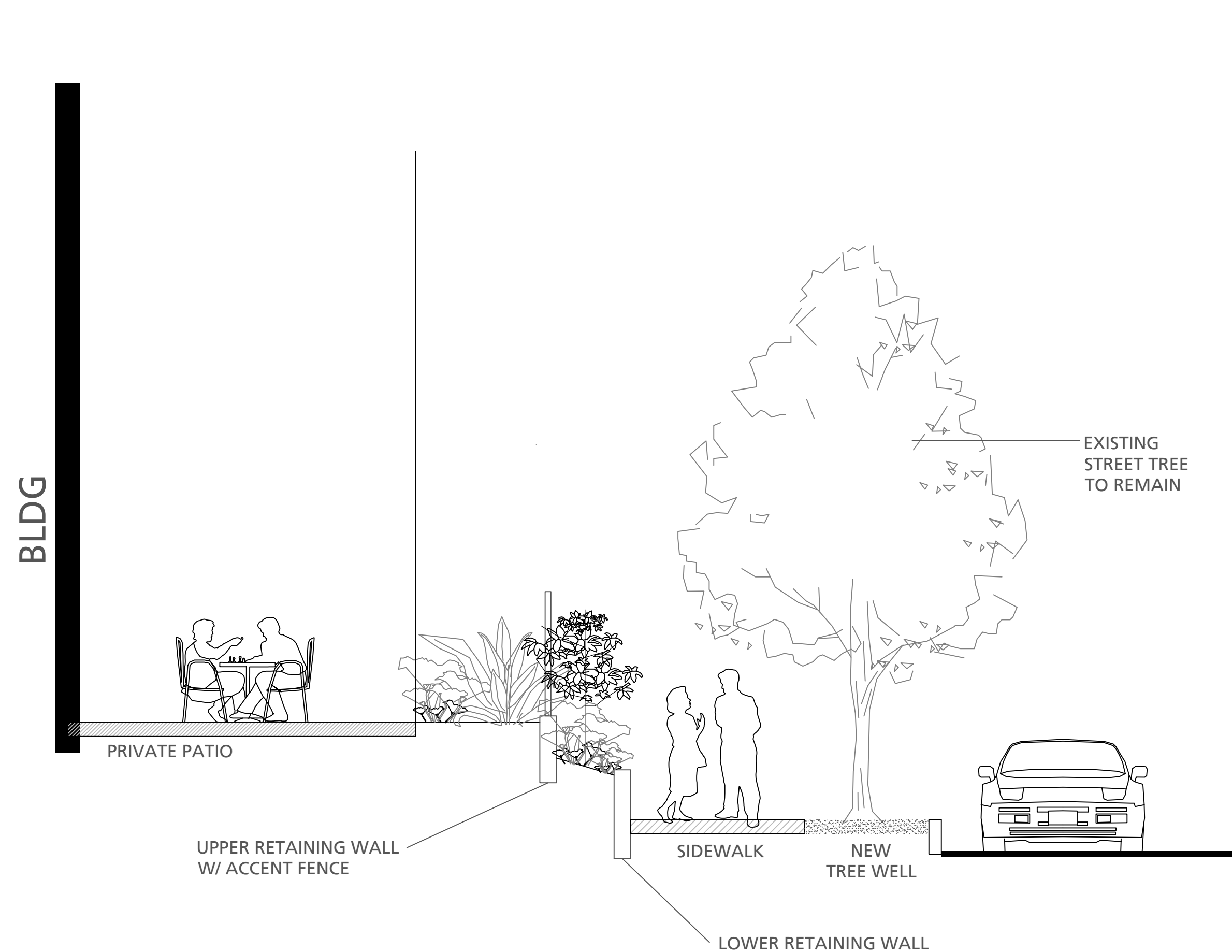
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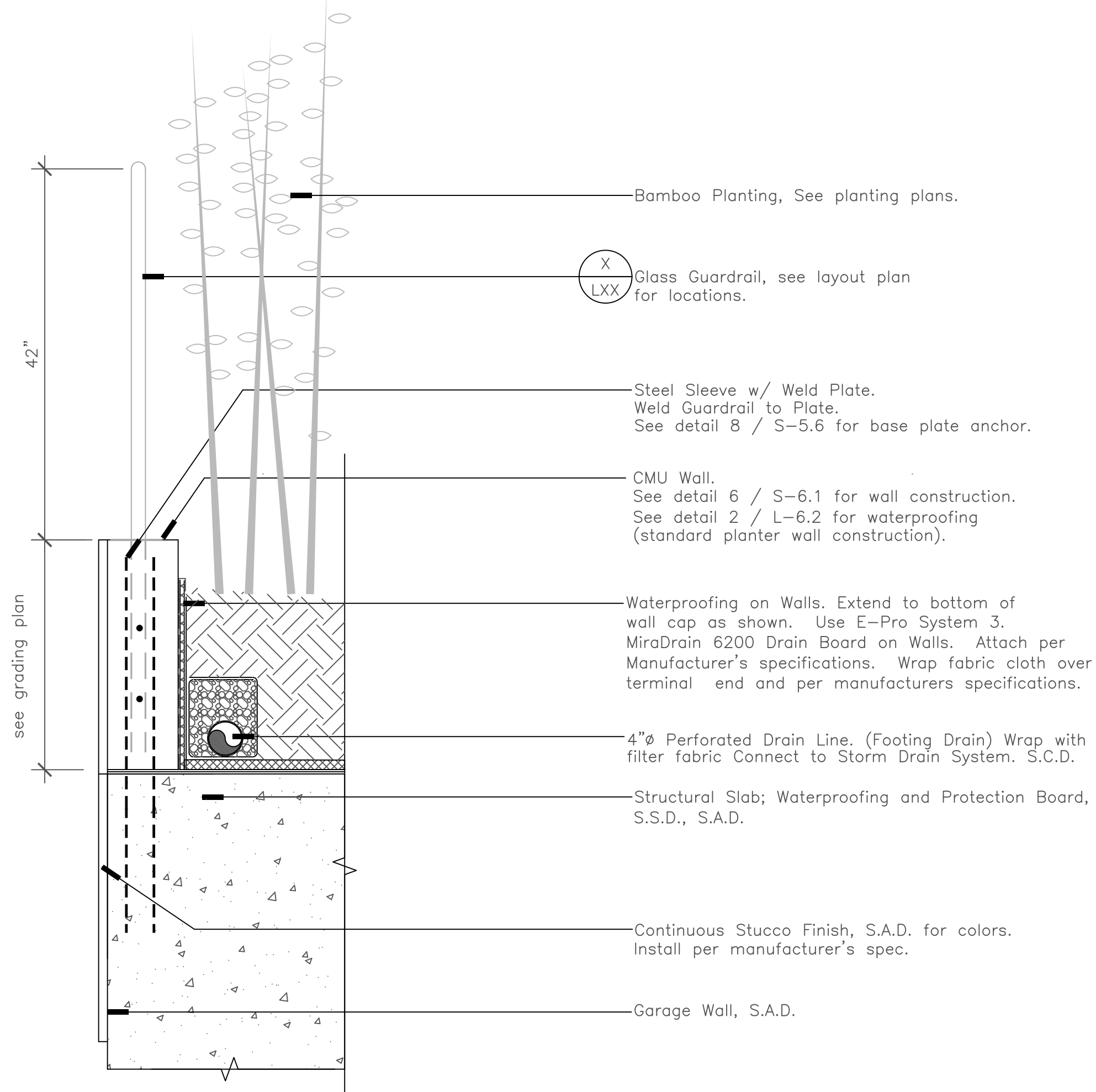
1 Podium Elevation

scale: 1/4" = 1'-0"



2 Street Frontage Elevation

scale: 1/4" = 1'-0"



3 Retaining Planter Wall at Structure Edge

Scale: 1" = 1'-0"

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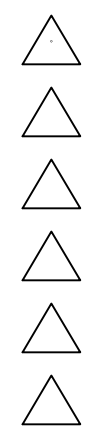
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